

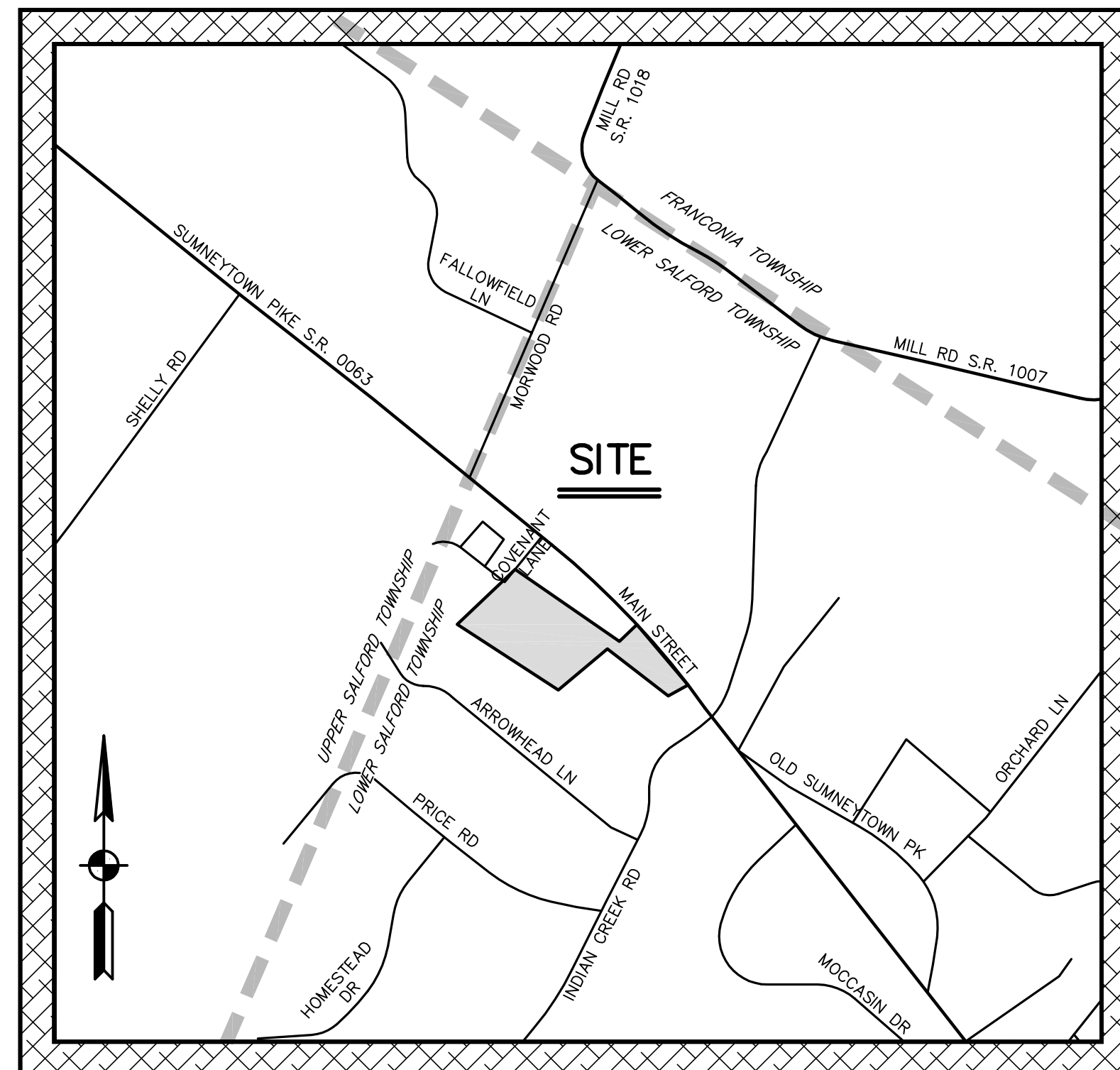
LAND DEVELOPMENT PLANS

FOR THE

PROPOSED BUILDING & PARKING LOT EXPANSION

PLAN SHEET INDEX

SHEET NO.	PLAN TITLE	ISSUE DATE	LAST REV'D
1 OF 12	COVER SHEET	JUNE 3, 2024	-
2 OF 12	RECORD PLAN OF LAND DEVELOPMENT PLAN	JUNE 3, 2024	-
3 OF 12	EXISTING FEATURES AND DEMOLITION PLAN	JUNE 3, 2024	-
4 OF 12	GRADING AND DRAINAGE PLAN	JUNE 3, 2024	-
5 OF 12	E&S PLAN	JUNE 3, 2024	-
6 OF 12	E&S DETAIL SHEET	JUNE 3, 2024	-
7 OF 12	E&S DETAIL SHEET	JUNE 3, 2024	-
8 OF 12	PCSM PLAN	JUNE 3, 2024	-
9 OF 12	PCSM NOTES & DETAIL SHEET	JUNE 3, 2024	-
10 OF 12	PCSM NOTES & DETAIL SHEET	JUNE 3, 2024	-
11 OF 12	LANDSCAPE AND LIGHTING PLAN	JUNE 3, 2024	-
12 OF 12	CONSTRUCTION DETAIL SHEET	JUNE 3, 2024	-
ADDITIONAL SUPPORTING DOCUMENTS			
1	POST-CONSTRUCTION STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL PLAN NARRATIVE	JUNE 3, 2024	-
2	STORMWATER INFILTRATION REPORT PREPARED BY VW CONSULTANTS, LLC	JUNE 16, 2023	-



SITE LOCATION MAP 1" = 800'

PREPARED FOR

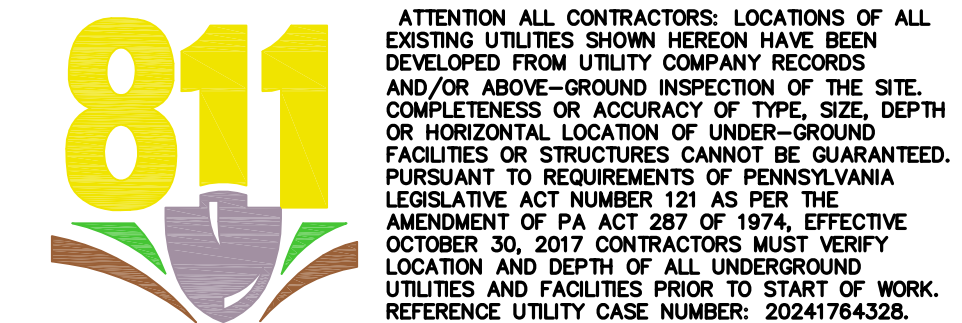
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE

310 COVENANT LANE
HARLEYSVILLE, PA 19438

SITE STATISTICS

- SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
LOWER SALFORD TOWNSHIP
A. TaxMapID 50002 059; ParId: 50-00-02900-00-2
B. TaxMapID 50002 008; ParId: 50-00-02200-00-9
- RECORDED DEED DATA IS AS FOLLOWS:
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA AS FOLLOWS:
A. DEED BOOK 5128, PAGE 1991
B. DEED BOOK 5678, PAGE 00939
- NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:
A. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
310 COVENANT LANE
HARLEYSVILLE, PA 19438
B. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
310 COVENANT LANE
HARLEYSVILLE, PA 19438
- AREA STATISTICS:
A. TRACT AREA = 10.27 AC. (TO TITLE LINES)
B. TRACT AREA = 1.00 AC. (TO TITLE LINES)

ACT 50 UTILITY NOTE



ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20241764328.

COMCAST
100 SHOWMANER RD
POTTSTOWN, PA 19464
MIKE KIMBERLY
mike.kimberly@comcast.com

PECO AN EXELON COMPANY C/O USIC
450 S HENDERSON ROAD SUITE B
KIND OF PRUSSIA, PA 19406
NIKKIA SIMPSON
NIKKIASIMPSON@USICLLC.COM

COMCAST
114 RIDGE RD
SELLERSVILLE, PA 18960
JOHN GOSPELART

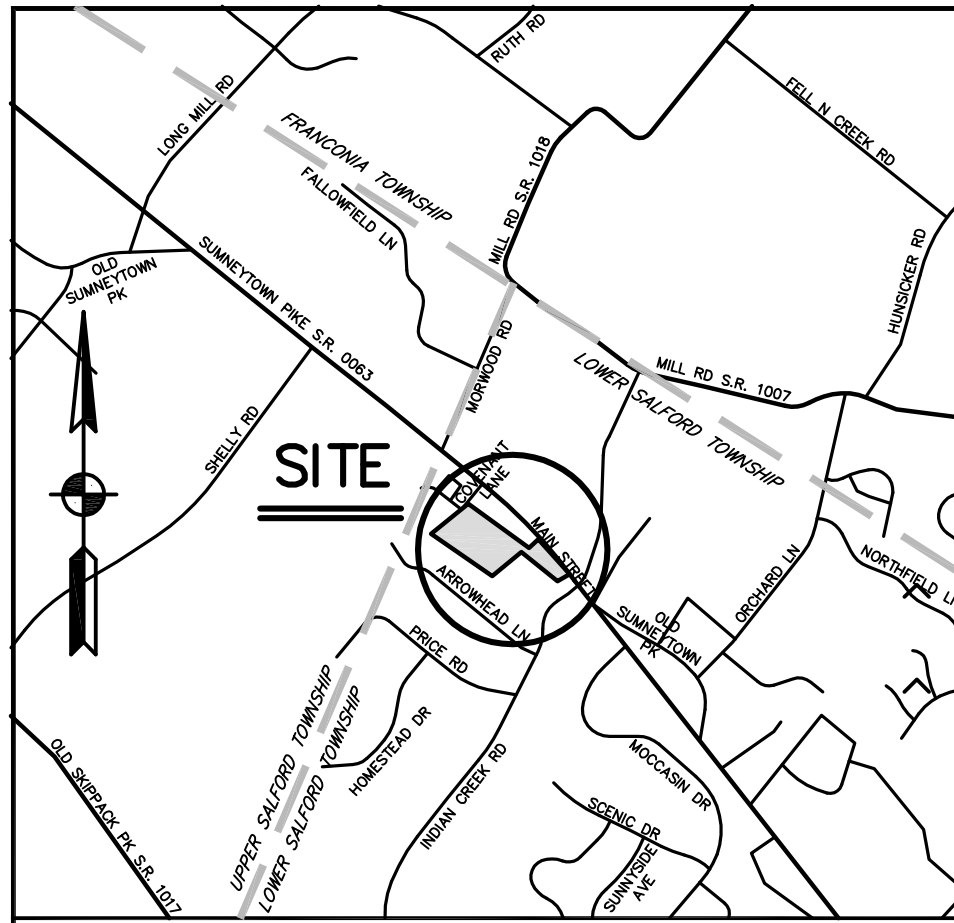
LOWER SALFORD TOWNSHIP AUTHORITY
P.O. BOX 243
HARLEYSVILLE, PA 19438
PHONE 215-296-8676
COUNCIL MEMBER

LOWER SALFORD TOWNSHIP
279 MAIN ST
HARLEYSVILLE, PA 19438
DOUG JONES
djones@salfordtownship.org

GILMORE ASSOCIATES
184 W MAIN ST SUITE 300
TRAERLE, PA 19428
THOMAS DUFFY
tduffy@gilmore-associ.com

NORTH PENN WATER AUTHORITY
300 FORTY FOOT ROAD
LANDISVILLE, PA 19446
STEVE FRETZ
sfretz@npwa.org

S T A
Engineering, Inc.
Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
MAILING: P.O. BOX 87, RED HILL, PA 18076
PH: (215) 679-0200; www.stotac.com



SITE LOCATION MAP 1"=2000'

SITE STATISTICS	
1. SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS: LOWER SALFORD TOWNSHIP A. TaxMapID 50002 059; Parid: 50-00-02900-00-2 B. TaxMapID 50002 008; Parid: 50-00-02200-00-9	
2. RECORDED DEED DATA IS AS FOLLOWS: AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA AS FOLLOWS: A. DEED BOOK 5128, PAGE 1991 B. DEED BOOK 5678, PAGE 00939	
3. NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT: A. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE 310 COVENANT LANE HARLEYSVILLE, PA 19438 B. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE 310 COVENANT LANE HARLEYSVILLE, PA 19438	
4. AREA STATISTICS: A. TRACT AREA = 10.27 AC. (TO TITLE LINES) B. TRACT AREA = 1.00 AC. (TO TITLE LINES) C. TOTAL TRACT AREA = 11.27 AC.	

ACT 50 UTILITY NOTE	
	<p>ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20241764328</p>

PLAN SHEET INDEX	
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9 OF 12	PCSM NOTES & DETAIL SHEET
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12 OF 12	CONSTRUCTION DETAIL SHEET

NOTES	
1.	TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND VERIFIED BY ACTUAL FIELD MEASUREMENTS. REFERENCE PLANS: a. LAND DEVELOPMENT PLAN DATED MARCH 19, 1997 PREPARED BY STOUT, TACCONELLI & ASSOCIATES, INC. RECORDED IN PLAN BOOK L-3, PAGE 447. b. LAND DEVELOPMENT PLAN-PHASE A DATED JAN. 30, 2003 AS LAST REVISED MAY 20, 2003 PREPARED FOR COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE BY STOUT, TACCONELLI & ASSOCIATES, INC. RECORDED IN LAND SITE BOOK L6, PAGE 408.
2.	ANY SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION BY STOUT, TACCONELLI & ASSOCIATES, INC.
3.	CONTOUR DATA AS SHOWN HEREON IS BASED ON U.S.G.S. VERTICAL DATUM. BENCHMARK ELEVATION: 221.55 BENCHMARK DESCRIPTION: RM 99: PDH DISK ON TOP NORTHEAST WING WALL AT NORTH ABUTMENT OF STATE ROUTE 63 BRIDGE OVER INDIAN CREEK.
4.	NO PART OF THIS PROPERTY LIES WITHIN A FLOODPLAIN AREA AS DESCRIBED ON PANEL 118 OF 451 OF THE FEMA FLOOD INSURANCE RATE MAP NUMBER 420910166, EFFECTIVE MARCH 2, 2016. FEMA FLOOD ZONE: X.
5.	ANY SCALED DIMENSIONS FROM THE PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION BY S.T.A. ENGINEERING, INC.
6.	THE CHURCH IS SERVED BY PUBLIC WATER PROVIDED BY NORTH PENN WATER AUTHORITY AND PUBLIC SEWER PROVIDED BY LOWER SALFORD TOWNSHIP AUTHORITY.
7.	TOPSOIL MAY NOT BE REMOVED FROM THE SITE WITHOUT APPROVAL FROM THE TOWNSHIP.
8.	THE APPROVED IMPROVEMENT CONSTRUCTION PLAN, A COPY OF WHICH MAY BE OBTAINED AT THE TOWNSHIP OFFICE, HAS BEEN MADE A PART OF THE APPROVED FINAL PLAN.
9.	ALL NEW UTILITIES MUST BE INSTALLED UNDERGROUND
10.	ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER SALFORD TOWNSHIP AND PA DOT STANDARDS AND SPECIFICATIONS, WHICH EVER MAY BE GREATER. INTERPRETATION SHALL REST WITH THE TOWNSHIP ENGINEER OR THE TOWNSHIP ENGINEER'S REPRESENTATIVE IN THE FIELD.
11.	APPLICANT HAS RESERVED AREA ALONG COVENANT WAY FOR A FUTURE ROAD RIGHT OF WAY DEDICATION IF REQUIRED. REFER TO RECORD PLANS NOTED IN 1.A & B. ABOVE.
12.	FROM PRIOR RECORD PLANS (NOTED IN 1.A & B. ABOVE) THE APPLICANT PROVIDED A BLANKET EASEMENT IN FAVOR OF LOWER SALFORD TOWNSHIP OVER THE STORMWATER CONVEYANCE SYSTEM FOR ACCESS AND MAINTENANCE IN THE EVENT THE PROPERTY OWNER DOES NOT ADEQUATELY MAINTAIN THE INLETS/PIPES, ETC.
13.	FROM PRIOR RECORD PLANS (NOTED IN 1.A & B. ABOVE) A DETENTION BASIN EASEMENT WAS GRANTED TO LOWER SALFORD TOWNSHIP FOR ACCESS AND MAINTENANCE IN THE EVENT THE PROPERTY OWNER DOES NOT ADEQUATELY MAINTAIN THE BASIN AND ITS APPURTENANCES.

ZONING ORDINANCE DATA			
DATA OBTAINED FROM LOWER SALFORD TOWNSHIP ZONING ORDINANCE, OF NOVEMBER 2000, CHAPTER 164, ARTICLE VI, SECTION 164-28. AND ARTICLE XIV, SECTION 164-85.4.			
DISTRICT CLASSIFICATION - "R-1A" - RESIDENTIAL DISTRICT CLASS ONE INSTITUTIONAL USE: CHURCH			
CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	80,000 S.F.	11,27 Ac.	No Change
MINIMUM LOT WIDTH @ BUILDING LINE:	200 FT.	500.00 FT.	500.00 FT.
FRONT YARD SETBACK:	75 FT.	161.51 FT.	153.05 FT.
SIDE YARD RESTRICTION:	40 FT.	101.64 FT.	78.38 FT.
REAR YARD RESTRICTION:	75 FT.	432.33 FT.	409.61 FT.
MAXIMUM BUILDING COVERAGE:	10%	2.56%	3.13%
IMPERVIOUS COVERAGE:	25%	15.88%	16.71%
MAXIMUM BUILDING HEIGHT:	35 FT.	< 35 FT.	No Change
PARKING LOT SETBACK:	40 FT.	19.22 FT.	No Change
BUILDING SETBACK FROM RES.	50 FT.	101.64 FT.	78.38 FT.
(GROSS FLOOR AREA <50,000 S.F.)			

COMMONWEALTH OF PENNSYLVANIA } SS:
COUNTY OF MONTGOMERY

ON THIS, THE _____ DAY OF _____, 2003,
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED HIMSELF TO BE THE PRESIDENT OF COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE, A PENNSYLVANIA CORPORATION, AND THAT HE, AS SUCH, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF AS PRESIDENT.

IN WITNESS WHEREOF, I HERETOBY SET MY HAND AND OFFICIAL SEAL:

FOR: COVENANT PRESBYTERIAN CHURCH

BY: _____ (PRESIDENT)

NOTARY PUBLIC

COMMISSION EXPIRATION DATE _____

APPROVED BY THE PLANNING COMMISSION OF LOWER SALFORD TOWNSHIP THIS _____ DAY OF _____, 20__

CHAIRMAN _____

SECRETARY _____

TOWNSHIP ENGINEER _____

APPROVED BY THE BOARD OF SUPERVISORS OF LOWER SALFORD TOWNSHIP THIS _____ DAY OF _____, 20__

CHAIRMAN _____

SECRETARY (ATTEST) _____

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____, ON _____, 20__.

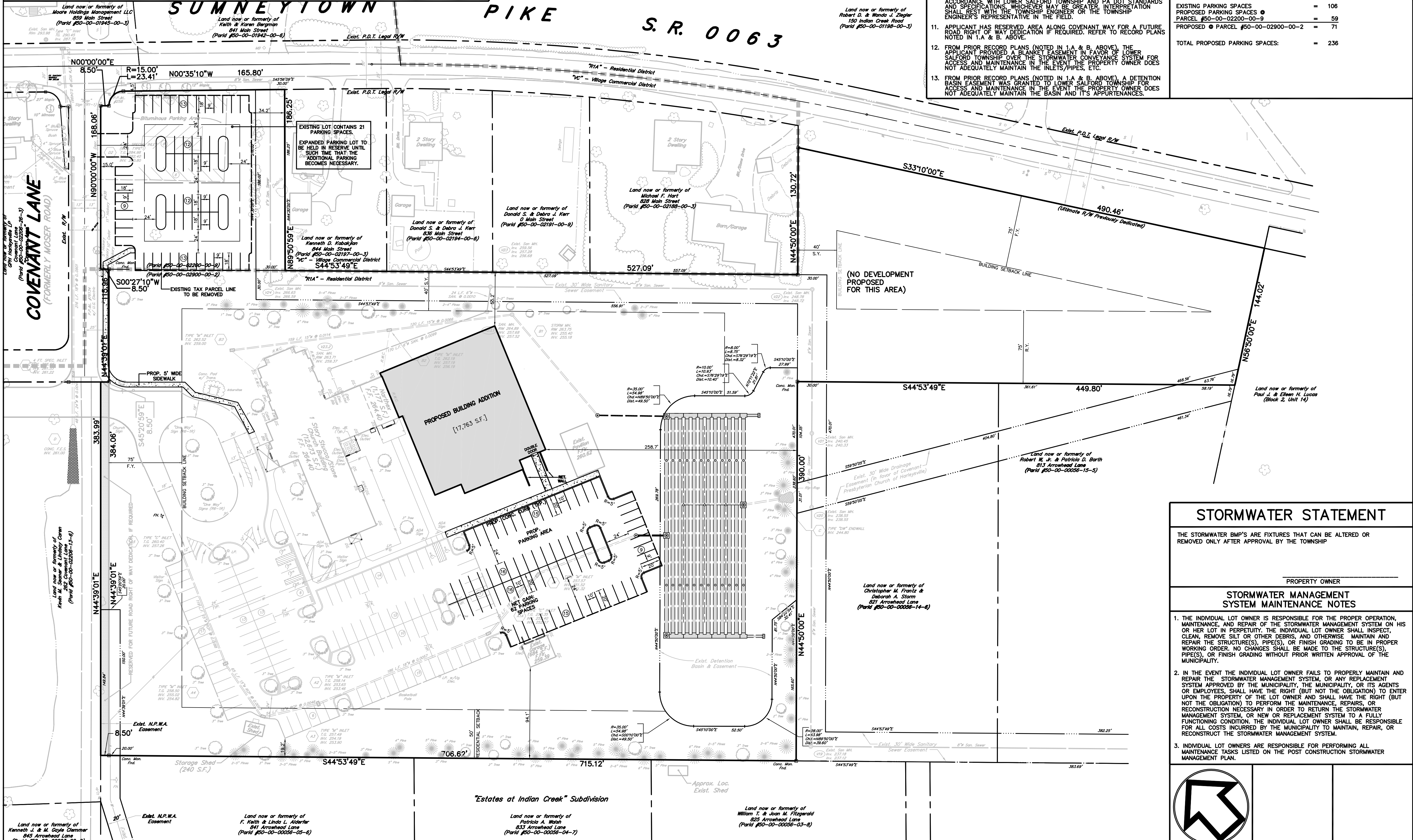
MCP No. _____ RECORDER OF DEEDS

PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____

For the Director
MONTGOMERY COUNTY PLANNING COMMISSION

PARKING DATA	
OFF-STREET PARKING REQUIREMENTS DATA OBTAINED FROM LOWER SALFORD TOWNSHIP ZONING ORDINANCE, OF NOVEMBER 2000, CHAPTER 164, ARTICLE XV, SECTION 164-99.A. PROP. USE: PLACE OF WORSHIP CRITERIA: 1 SPACE FOR EVERY 25 S.F. OF FLOOR AREA IN THE LARGEST ROOM INTENDED FOR THE ASSEMBLY OF PERSONS. FOR 5,888 S.F. ASSEMBLY AREA: 5888/25 = 236 SPACES	
EXISTING PARKING SPACES @ PARCEL #50-00-02200-00-9	= 51
PROPOSED @ PARCEL #50-00-02900-00-2	= 79
TOTAL PROPOSED PARKING SPACES:	= 236



STORMWATER STATEMENT	
THE STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP	
PROPERTY OWNER	
STORMWATER MANAGEMENT SYSTEM MAINTENANCE NOTES	
1. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR THE PROPER OPERATION, MAINTENANCE, AND REPAIR OF THE STORMWATER MANAGEMENT SYSTEM ON HIS OR HER LOT IN PERPETUITY. THE INDIVIDUAL LOT OWNER SHALL INSPECT, CLEAN, REMOVE SLT OR OTHER DEBRIS, AND OTHERWISE MAINTAIN AND REPAIR THE STRUCTURE(S), PIPE(S), OR FINISH GRADING TO BE IN PROPER WORKING ORDER. NO CHANGES SHALL BE MADE TO THE STRUCTURE(S), PIPE(S), OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL OF THE MUNICIPALITY.	
2. IN THE EVENT THE INDIVIDUAL LOT OWNER FAILS TO PROPERLY MAINTAIN AND REPAIR THE STORMWATER MANAGEMENT SYSTEM, OR ANY REPLACEMENT SYSTEM APPROVED BY THE MUNICIPALITY, THE MUNICIPALITY, OR ITS AGENTS OR EMPLOYEES, SHALL HAVE THE RIGHT (BUT NOT THE OBLIGATION) TO ENTER UPON THE PROPERTY OF THE LOT OWNER AND SHALL HAVE THE RIGHT (BUT NOT THE OBLIGATION) TO PERFORM THE MAINTENANCE, REPAIRS, OR RECONSTRUCTION NECESSARY IN ORDER TO RETURN THE STORMWATER MANAGEMENT SYSTEM, OR NEW OR REPLACEMENT SYSTEM TO A FULLY FUNCTIONING CONDITION. THE INDIVIDUAL LOT OWNER SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED BY THE MUNICIPALITY TO MAINTAIN, REPAIR, OR RECONSTRUCT THE STORMWATER MANAGEMENT SYSTEM.	
3. INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR PERFORMING ALL MAINTENANCE TASKS LISTED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.	

ENGINEER CERTIFICATION

I, SUSAN A. RICE, P.E., A PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THE DESIGN OF ALL IMPROVEMENTS IS CORRECT.

SUSAN A. RICE, P.E.

SURVEYOR'S CERTIFICATION

I, CLIFFORD T. STOUT, P.L.S., HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY S.T.A. ENGINEERING, INC. THAT THE MONUMENTATION SHOWN HEREON EXISTS AS LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

CLIFFORD T. STOUT, P.L.S.

GRAPHIC SCALE

1 ADM S.T.A. PLAN ORIGINATION DATE JUNE 3, 2024

RECORD PLAN OF LAND DEVELOPMENT FOR COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE LOWER SALFORD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA

S T A
Engineering, Inc.

Civil Engineers • Land Surveyors

2499 KNIGHT ROAD, PENNSBURG, PA 18073
MAILING: P.O. BOX 87, RED HILL, PA 18076
PH: (215) 679-0200; www.stotac.com

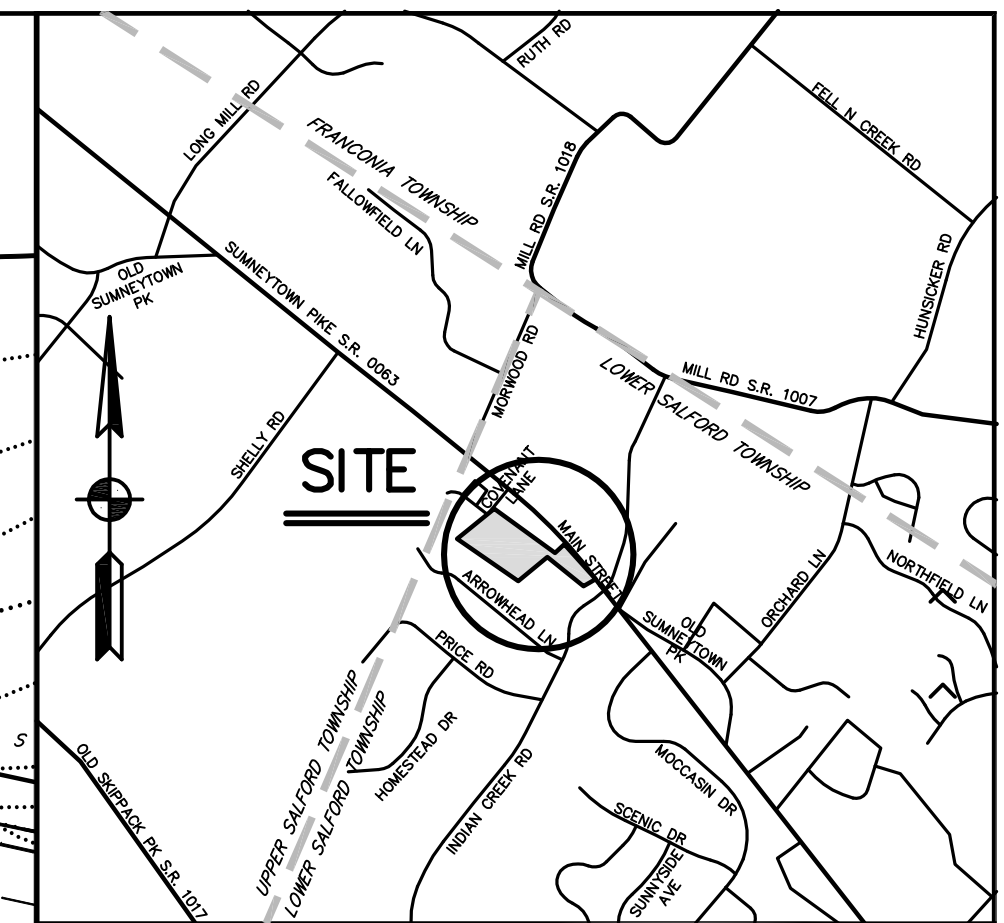
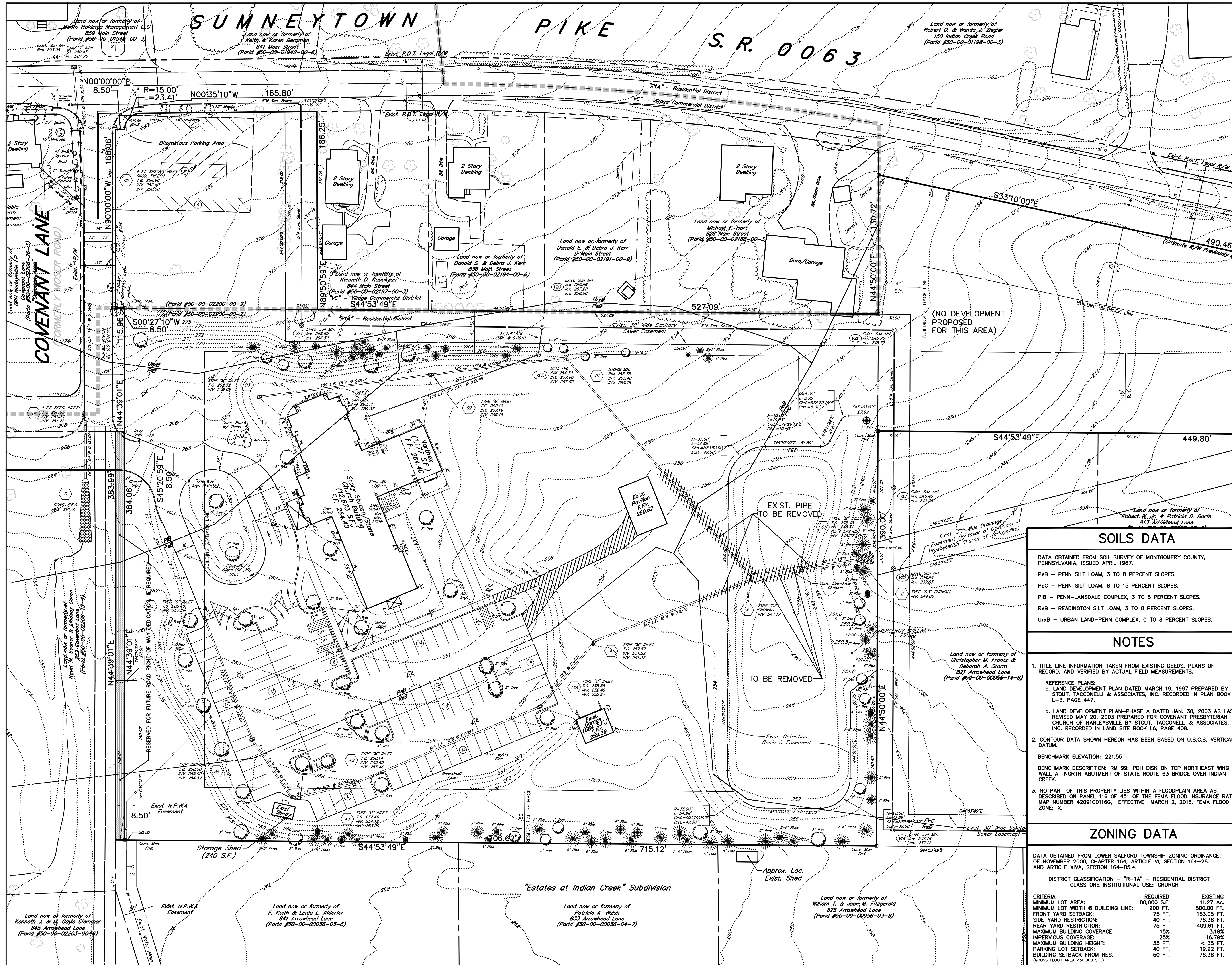
PLAN SCALE HORIZONTAL: 1"=50'

DRAFTED BY: A.D.M. PROJECT NUMBER: 2550

PROJECT NUMBER: 2550

PROJECT MANAGER: S.A.R. DRAWING FILE NUMBER: 2550LD-2023

PLN SHEET NUMBER: 2 OF 12



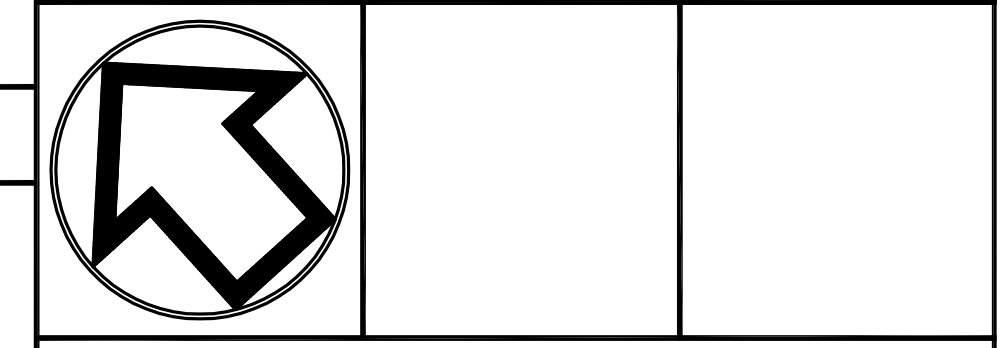
SITE STATISTICS

- SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
LOWER SALFORD TOWNSHIP
A. TaxMapID 50002 059; Parid: 50-00-02900-00-2
B. TaxMapID 50002 008; Parid: 50-00-02200-00-9
- RECORDED DEED DATA IS AS FOLLOWS:
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA AS FOLLOWS:
A. DEED BOOK 5128, PAGE 1991
B. DEED BOOK 5678, PAGE 00939
- NAME AND ADDRESS OF THE OWNER OF THE SUBJECT TRACT:
A. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
310 COVENANT LANE
HARLEYSVILLE, PA 19438
B. COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
310 COVENANT LANE
HARLEYSVILLE, PA 19438
- AREA STATISTICS:
A. TRACT AREA = 10.27 AC. (TO TITLE LINES)
B. TRACT AREA = 1.00 AC. (TO TITLE LINES)
C. TOTAL TRACT AREA = 11.27 AC.

ACT 50 UTILITY NOTE

811

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20241764328



PLAN ORIGINATION DATE	JUNE 3, 2024
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EXISTING FEATURES AND DEMOLITION PLAN
FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
TRACT SITUATE IN
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

S T A
Engineering, Inc.

Civil Engineers • Land Surveyors
2499 KNIGHT ROAD, PENNSBURG, PA 18073
MAILING: P.O. BOX 87, RED HILL, PA 18076
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	A.D.M.	S.A.R.	
1"=40'	PROJECT NUMBER	DRAWING FILE NUMBER	3 OF 12
	2550	2550EF1	

SOILS DATA

DATA OBTAINED FROM SOIL SURVEY OF MONTGOMERY COUNTY, PENNSYLVANIA, ISSUED APRIL 1967.
P_{8B} - PENN SILT LOAM, 3 TO 8 PERCENT SLOPES.
P_{6C} - PENN SILT LOAM, 8 TO 15 PERCENT SLOPES.
P_{1B} - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES.
R_{8B} - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES.
U_{8B} - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.

NOTES

- TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND VERIFIED BY ACTUAL FIELD MEASUREMENTS.
REFERENCE PLANS:
a. LAND DEVELOPMENT PLAN DATED MARCH 19, 1997 PREPARED BY STOUT, TACONELLI & ASSOCIATES, INC. RECORDED IN PLAN BOOK L-3, PAGE 447.
b. LAND DEVELOPMENT PLAN-PHASE A DATED JAN. 30, 2003 AS LAST REVISED MAY 20, 2003 PREPARED FOR COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE BY STOUT, TACONELLI & ASSOCIATES, INC. RECORDED IN LAND SITE BOOK L6, PAGE 408.
- CONTOUR DATA SHOWN HEREON HAS BEEN BASED ON U.S.G.S. VERTICAL DATUM.
BENCHMARK ELEVATION: 221.55
BENCHMARK DESCRIPTION: RM 99; PDH DISK ON TOP NORTHEAST WING WALL AT NORTH ABUTMENT OF STATE ROUTE 63 BRIDGE OVER INDIAN CREEK.
- NO PART OF THIS PROPERTY LIES WITHIN A FLOODPLAIN AREA AS DESCRIBED ON PANEL 116 OF 451 OF THE FEMA FLOOD INSURANCE RATE MAP NUMBER 4209C10116G, EFFECTIVE MARCH 2, 2016. FEMA FLOOD ZONE: X.

ZONING DATA

DATA OBTAINED FROM LOWER SALFORD TOWNSHIP ZONING ORDINANCE, OF NOVEMBER 2000, CHAPTER 164, ARTICLE VI, SECTION 164-28, AND ARTICLE XIV, SECTION 164-85.4.

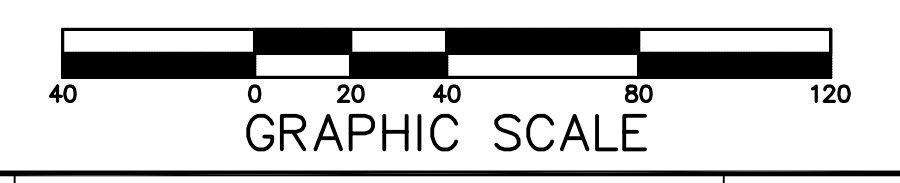
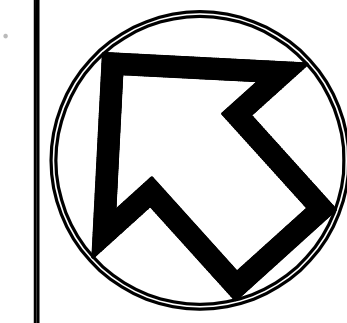
DISTRICT CLASSIFICATION - "R-1A" - RESIDENTIAL DISTRICT
CLASS ONE INSTITUTIONAL USE: CHURCH

CRITERIA	REQUIRED	EXISTING
MINIMUM LOT AREA:	80,000 S.F.	11,27 AC.
MINIMUM LOT WIDTH @ BUILDING LINE:	200 FT.	500.00 FT.
FRONT YARD SETBACK:	75 FT.	153.05 FT.
SIDE YARD RESTRICTION:	40 FT.	78.38 FT.
REAR YARD RESTRICTION:	75 FT.	408.61 FT.
MAXIMUM BUILDING COVERAGE:	15%	3.18%
IMPERVIOUS COVERAGE:	25%	16.79%
MAXIMUM BUILDING HEIGHT:	35 FT.	< 35 FT.
PARKING LOT SETBACK:	40 FT.	19.22 FT.
BUILDING SETBACK FROM RES. (GROSS FLOOR AREA < 50,000 S.F.):	50 FT.	78.38 FT.



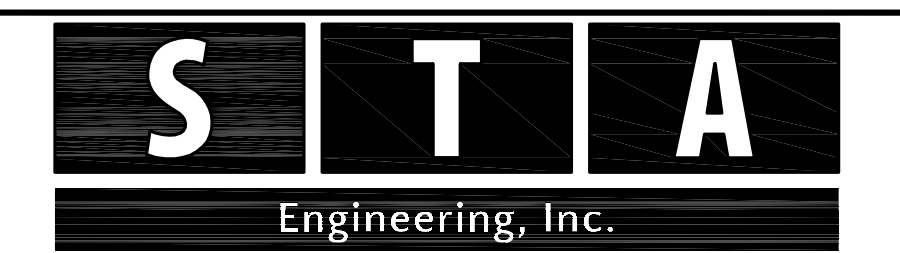
CONSTRUCTION NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE IN ACCORDANCE WITH LOWER SALFORD TOWNSHIP AND PENNDOT STANDARDS AND SPECIFICATIONS, WHICHEVER MAY BE GREATER. INTERPRETATION SHALL REST WITH THE TOWNSHIP ENGINEER OR THE TOWNSHIP ENGINEER'S REPRESENTATIVE IN THE FIELD.
2. PROVIDE 18 INCHES MINIMUM VERTICAL CLEARANCE BETWEEN ALL UTILITIES.
3. ALL STORM SEWER PIPES REQUIRE 2 FEET MINIMUM COVER OVER THE TOP OF THE PIPE.
4. PROVIDE SHOP DRAWINGS/LITERATURE SUBMITTALS FOR ALL ITEMS PERTAINING TO THE STORM SEWER SYSTEM, STORM STRUCTURES, PIPE, ETC., CONCRETE; I.E., CURB, SIDEWALK, ETC., ALL AGGREGATES, ALL ASPHALT DESIGN MIXES, RETAINING WALLS, ETC. TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.
5. NO TOPSOIL MAY BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL FROM LOWER SALFORD TOWNSHIP.
6. THE CONSTRUCTION OF ALL SANITARY SEWER SYSTEMS AND APARTMENTS IS ARE TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOWER SALFORD TOWNSHIP AUTHORITY STANDARD CONSTRUCTION DETAILS.
7. THERE IS TO BE A 10 FT. HORIZONTAL SEPARATION OR 18-INCH VERTICAL SEPARATION BETWEEN WATER AND SEWER MAINS.
8. THERE IS TO BE A 10 FT. HORIZONTAL SEPARATION BETWEEN SEWER LATERALS AND WATER SERVICES.
9. THERE IS TO BE A 10 FT. HORIZONTAL SEPARATION BETWEEN ALL SEWER AND LANDSCAPING.
10. NO GRADING TO OCCUR WITHIN 5 FEET OF THE PROPERTY LINE.



PLAN ORIGINATION DATE: JUNE 3, 2024

GRADING & DRAINAGE PLAN
 FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
 TRACT SITUATE IN
 LOWER SALFORD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA



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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	A.D.M.	S.A.R.	
1" = 40'	PROJECT NUMBER	DRAWING FILE NUMBER	
	2550	2550FG-2023	4 OF 12

CRITICAL STAGES OF BMP CONSTRUCTION

THE FOLLOWING STORMWATER MANAGEMENT BMP'S SHALL HAVE CONSTRUCTION OVERSIGHT:
 - UNDERGROUND BASIN W/MRC BMP 001

ACT 50 UTILITY NOTE



ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20241764328.

LEGEND

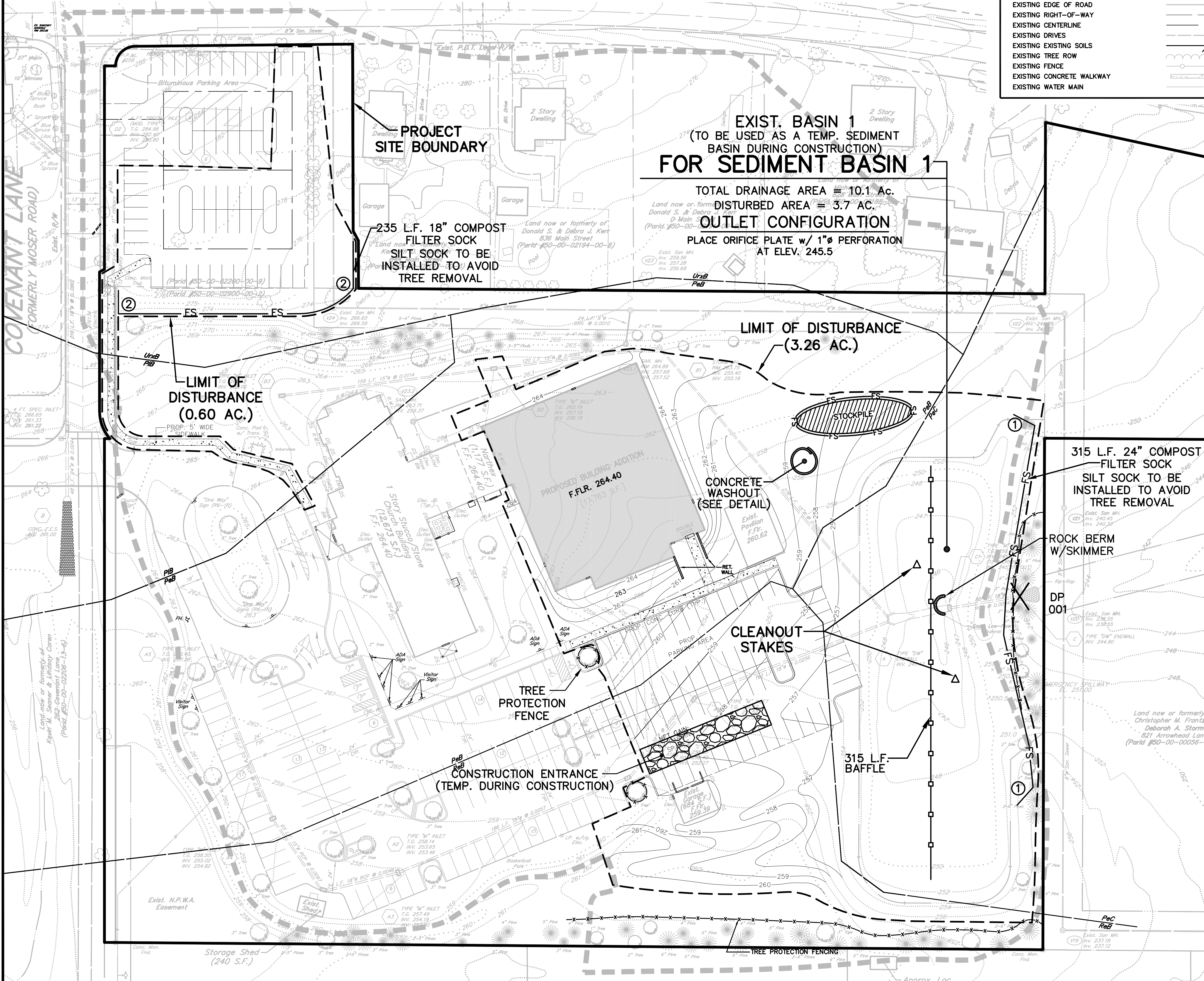
PROPOSED CONTOUR (MINOR)	---222---	EXISTING OVERHEAD WRES	---OHW---
PROPOSED CONTOUR (MAJOR)	---230---	AIR CONDITIONER UNIT	A/C
PROPOSED DRIVEWAY	---	UTILITY POLE	UP
PROPOSED RIGHT-OF-WAY	---	EXISTING SIGN	---
PROPOSED CENTERLINE	---	FIRE HYDRANT	FH
PROPOSED CONCRETE WALKWAY	---	WATER METER	WM
PROPOSED CONCRETE CURB	---	IRON PIN FOUND	IP
PROPOSED STORM SEWER	---	EXISTING CONTOUR TEMP (MAJOR)	---346---
PROPOSED WATER SERVICE	WS	EXISTING CONTOUR TEMP (MINOR)	---350---
PROPOSED SANITARY LATERAL	L	COMPOST FILTER SOCK	FS
ADJOINING OWNERS	---	LIMIT OF DISTURBANCE	---
ZONING	---	TREE PROTECTION FENCE	X-X-X
EXISTING SANITARY SEWER	---	STOCKPILE AREA	---[Hatched]---
EXISTING STORM SEWER	---	CONSTRUCTION ENTRANCE	---
EXISTING CONTOUR (MAJOR)	---000---	EROSION CONTROL BLANKET (E.C.B.) FOR SWALE LINING	---
EXISTING CONTOUR (MINOR)	---000---	PROJECT SITE BOUNDARY	---
EXISTING CURB	---	SEDIMENT BASIN/TRAP SHED LINE	---
EXISTING EDGE OF ROAD	---	BAFFLE	---
EXISTING RIGHT-OF-WAY	---	CLEANOUT STAKES	---
EXISTING CENTERLINE	---	(WHEN ACCUMULATED SEDIMENT HAS REACHED THE SEDIMENT CLEANOUT ELEVATION, THE SEDIMENT MUST BE REMOVED AND THE BASIN RETURNED TO ITS ORIGINAL DIMENSIONS. SURVEY RIBBON STARTLED TO THE STAKE SHOULD BE USED TO MARK THE CLEANOUT ELEVATION.)	---
EXISTING DRIVES	---		
EXISTING EXISTING SOILS	---		
EXISTING TREE ROW	---		
EXISTING FENCE	---		
EXISTING CONCRETE WALKWAY	---		
EXISTING WATER MAIN	---		

SOILS DATA

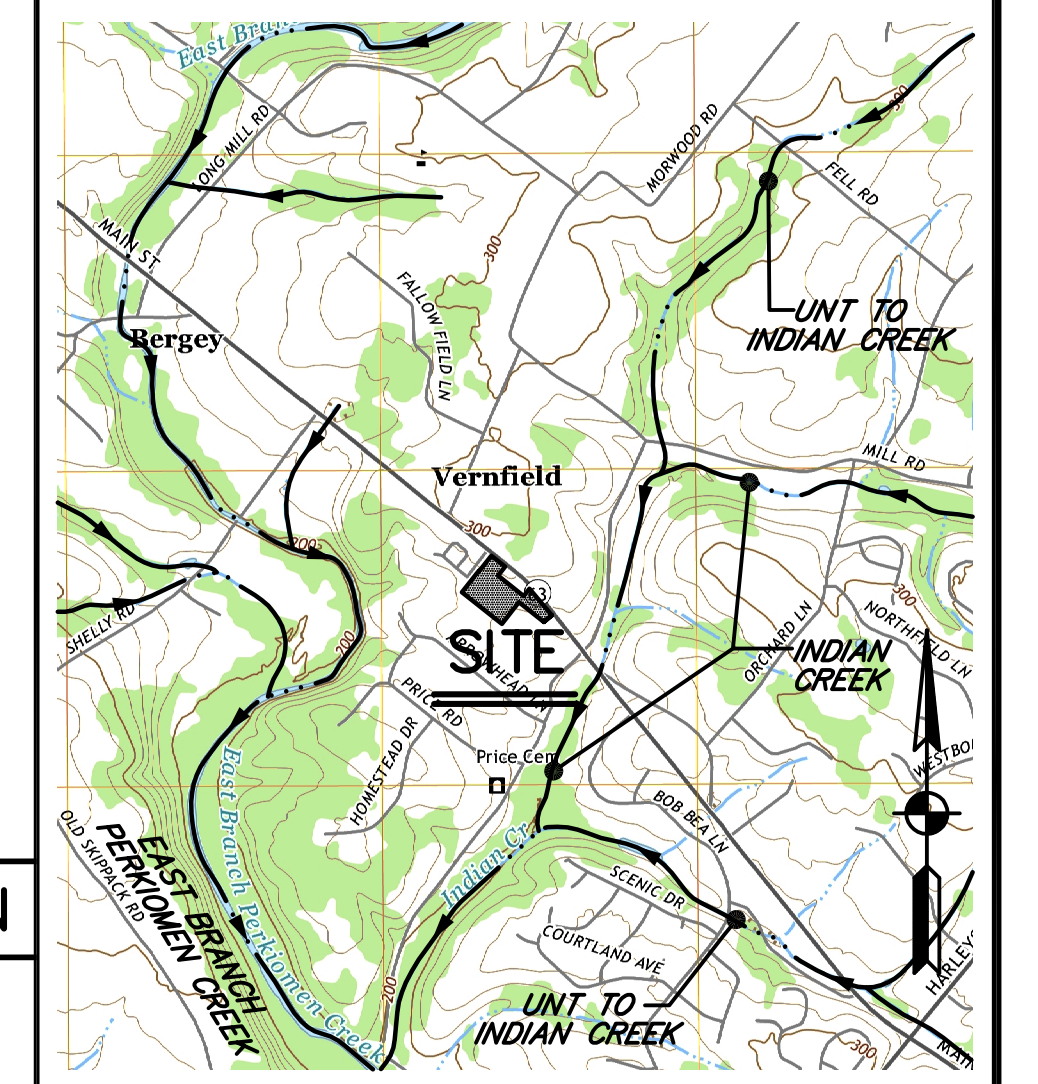
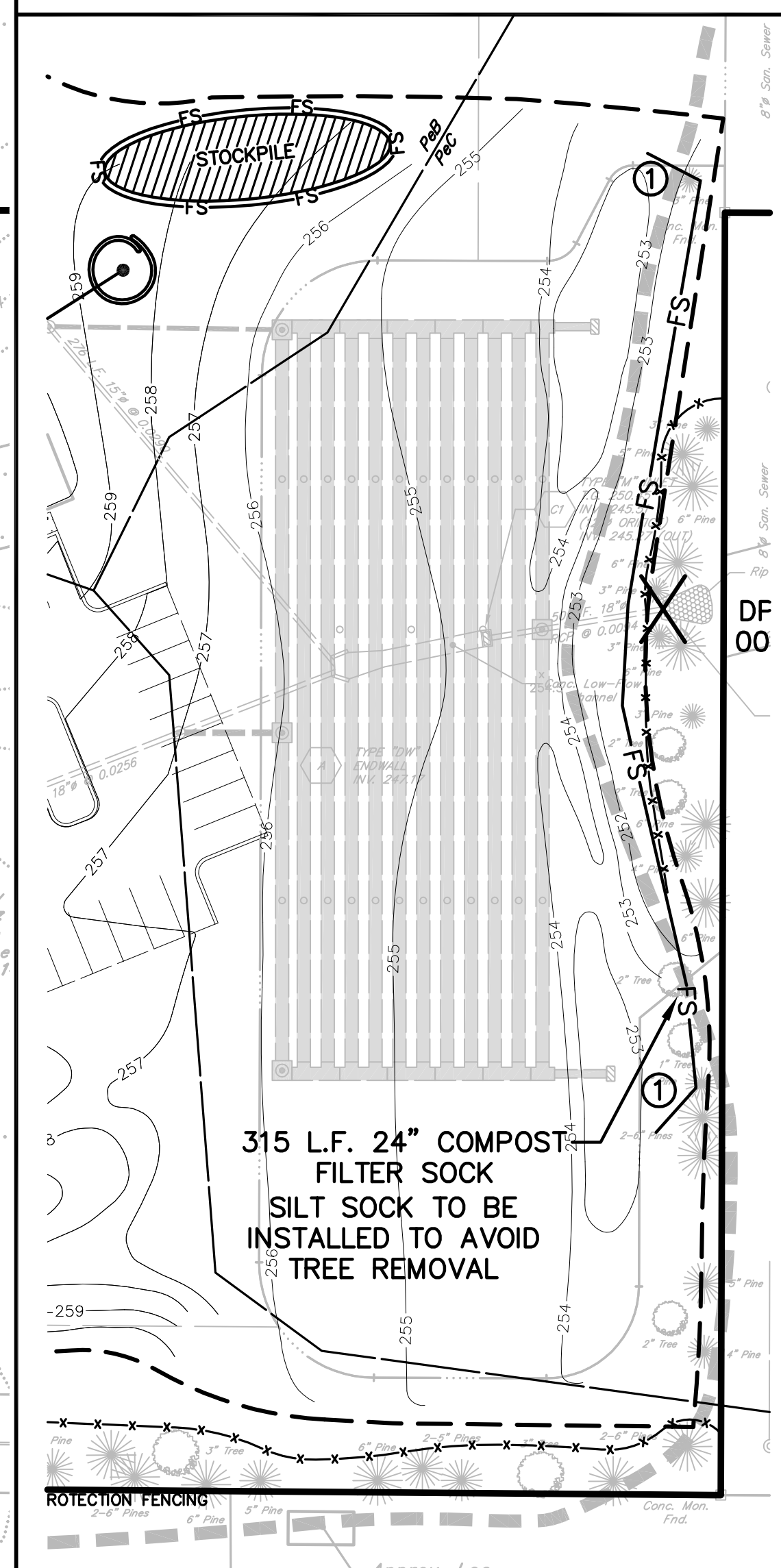
DATA OBTAINED FROM SOIL SURVEY OF MONTGOMERY COUNTY, PENNSYLVANIA, ISSUED APRIL 1967.
 PeB - PENN SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PeC - PENN SILT LOAM, 8 TO 15 PERCENT SLOPES.
 PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES.
 ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES.
 UrB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.

RECYCLING STATEMENT

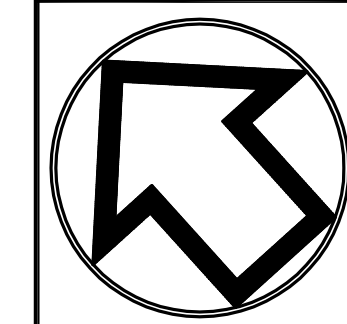
INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.



UNDERGROUND BASIN CONSTRUCTION

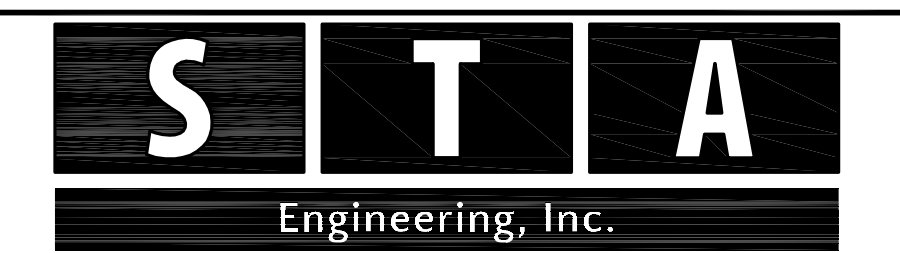


DISTURBED AREA = 3.86 Acres



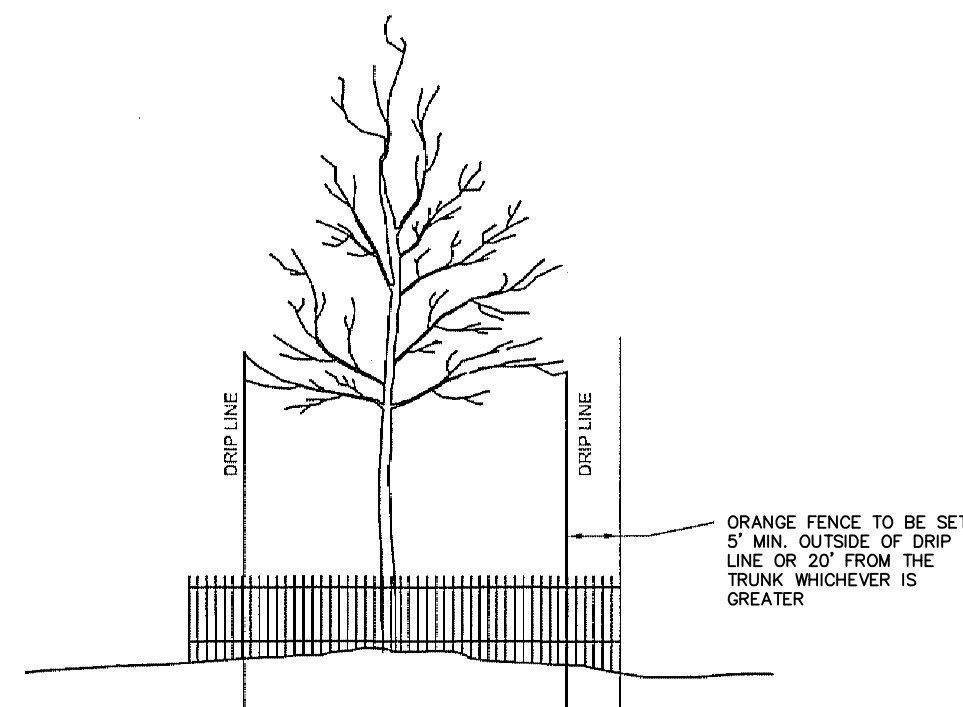
No.	REVISIONS	DATE
M.P.	PLAN ORIGINATION DATE	JUNE 3, 2024

E&S PLAN
 FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
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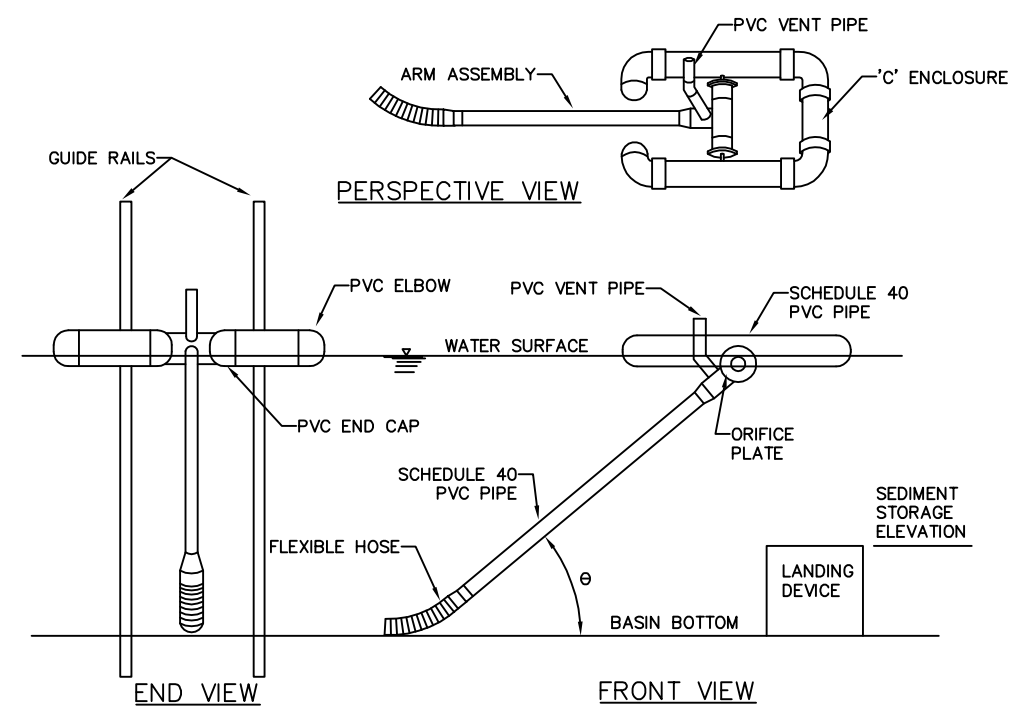


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PLAN SCALE	DRAFTED BY	PROJECT MANAGER
HORIZONTAL:	M.J.P.	S.A.R.
1"=40'	PROJECT NUMBER	DRAWING FILE NUMBER
	2550	2550ES2023
		5 OF 12



TREE PROTECTION DETAIL

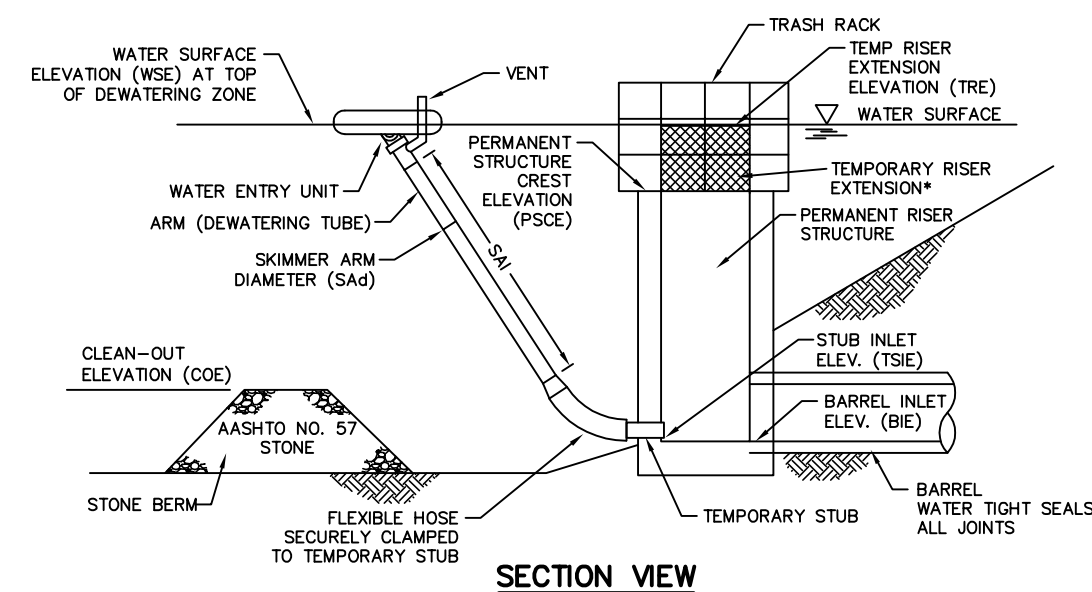


BASIN NO.	WATER SURFACE ELEVATION (FT)	SKIMMER SIZE (IN)	ARM		ORIFICE		TOP OF LANDING DEVICE ELEVATION (FT)	HOSE DIA. (IN)	FLEXIBLE HOSE		HOSE MATL	
			ARM LENGTH (FT)	ARM DIA (IN)	ORIFICE DIA (IN)	ORIFICE HEAD (IN)			FLEXIBLE HOSE LENGTH (IN)	FLEXIBLE HOSE ATTACHMENT ELEVATION (FT)		
001	250.45	4	8.0	3	PVC	3.0	4	247.00	3	8 IN. OR AS SPECIFIED PER MANUFACTURER	245.51	PVC

NOTES:
 ORIFICE DIAMETER MUST BE EQUAL TO OR LESS THAN ARM DIAMETER
 A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.
 SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.
 SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE LANDING DEVICE.
 A SEMI-CIRCULAR LANDING ZONE MAY BE SUBSTITUTED FOR THE GUIDE RAILS (STANDARD CONSTRUCTION DETAIL # 7-3).

STANDARD CONSTRUCTION DETAIL #7-1

SKIMMER
NOT TO SCALE



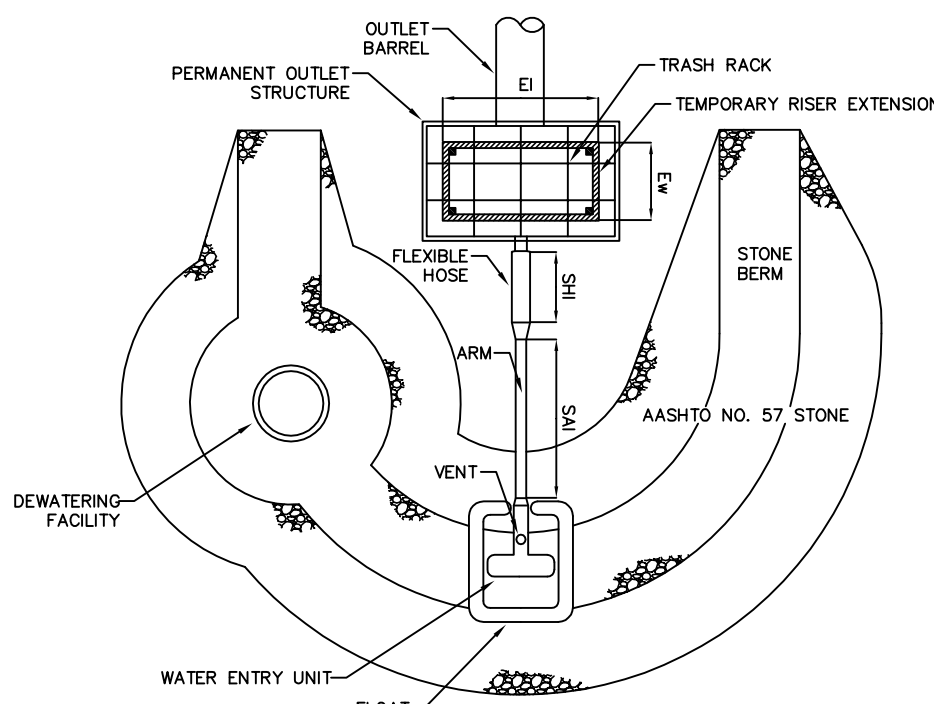
BASIN NO.	WATER SURFACE ELEV. (FT)	SKIMMER								
		ORIFICE			ARM		FLEXIBLE HOSE			
		DIA. (IN)	HEAD (FT)	MAT'L	DIA. (IN)	LENGTH (FT)	MAT'L	DIA. (IN)	LENGTH (IN)	MAT'L
001	250.45	SEE STANDARD CONSTRUCTION DETAIL #7-1								

TEMPORARY STUB	INVERT ELEV. (FT)	BASIN NO.	PERMANENT RISER		RISER EXTENSION		BARREL INLET ELEV. (FT)			
			CREST ELEV. (FT)	HORIZ. OPENING LENGTH (IN)	CREST ELEV. (FT)	HORIZ. OPENING LENGTH (IN)				
3	245.51	PVC	001	250.45	48	24	N/A	N/A	N/A	245.27

NOTES:
 ALL POST-CONSTRUCTION ORIFICES ON PERMANENT RISER BELOW TEMPORARY RISER EXTENSION SHALL HAVE WATER-TIGHT TEMPORARY SEALS PROVIDED. THE USE OF A STEEL PLATE AND WATER-TIGHT SEAL IS PREFERRED BUT MARINE GRADE PLYWOOD IS ALSO ACCEPTABLE. TEMPORARY STUB INVERT ELEVATION SHALL BE SET AT OR BELOW SEDIMENT CLEAN-OUT ELEVATION.
 A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.
 SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.
 SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE STONE BERM. SEE STANDARD CONSTRUCTION DETAIL #7-3 FOR CONFIGURATION OF STONE BERM.

STANDARD CONSTRUCTION DETAIL #7-2

SKIMMER ATTACHED TO PERMANENT RISER
NOT TO SCALE

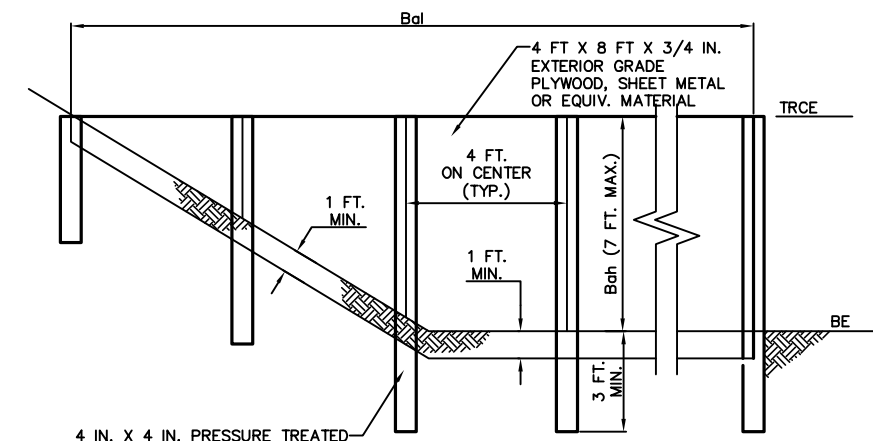


PLAN VIEW

NOTES:
 NO GUIDE RAILS SHALL BE REQUIRED FOR THIS INSTALLATION.
 THIS DETAIL SHALL BE USED IN CONJUNCTION WITH STANDARD CONSTRUCTION DETAILS #7-2 AND #7-4.

STANDARD CONSTRUCTION DETAIL #7-3

SKIMMER WITH STONE LANDING BERM
NOT TO SCALE

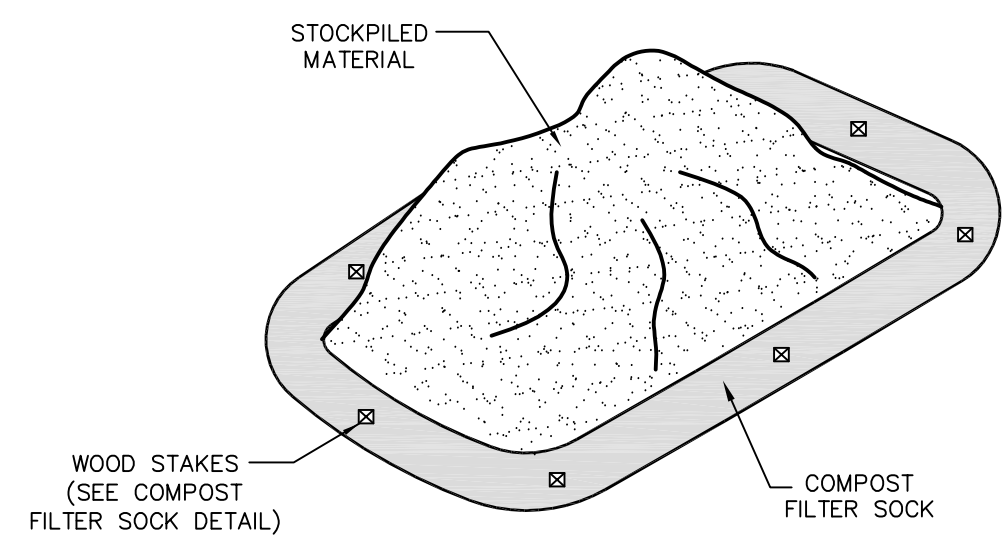


BASIN OR TRAP NO.	BAFFLE LENGTH (FT)	BAFFLE HEIGHT (FT)	TEMPORARY RISER		BOTTOM ELEV. (FT)
			CREST ELEV. (FT)	TRICE (FT)	
1	3.15	3	250.45	245.51	

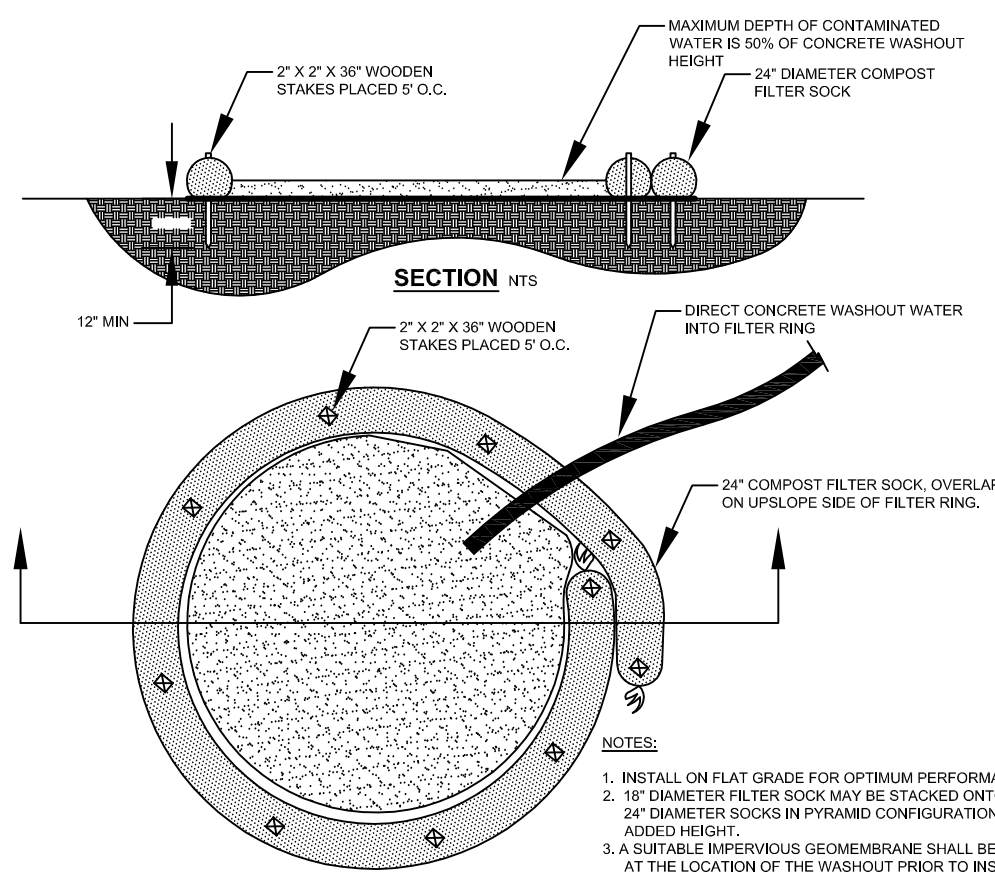
NOTES:
 SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.
 AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION IN POOLS WITH DEPTHS EXCEEDING 7 FEET. THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT BE TIED TO TRICE ELEVATION.
 BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.
 SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.
 DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.
 BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

STANDARD CONSTRUCTION DETAIL #7-14

BAFFLE
NOT TO SCALE



STOCKPILE CONTROL



SILT SOCK CONCRETE WASHOUT

NOTES:
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ON TOP DOUBLE
 3. 36" DIAMETER SOCKS IN PYRAMID CONFIGURATION FOR
 ADDED RESIST
 3. A DRAINABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
 4. CONCRETE WASHOUT SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.

BASIN NO.	Z1 (FT)	Z2 (FT)	TEMP RISER EXT. ELEV. (FT)	EMBANKMENT				CLEAN OUT COE (FT)	BOTTOM ELEV. (FT)
				TOP ELEV. (FT)	TOP WIDTH (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)		
001	3.0	3.0	N/A	252.25	10.0	3.0	8.0	247.00	245.51

BASIN NO.	SKIMMER			OUTLET BARREL		
	DIA. (IN)	LENGTH (FT)	MAT'L	DIA. (IN)	LENGTH (FT)	OUTLET ELEV. (FT)
001	SEE STANDARD CONSTRUCTION DETAIL #7-1	18	245.27	RCP	50	0.0094

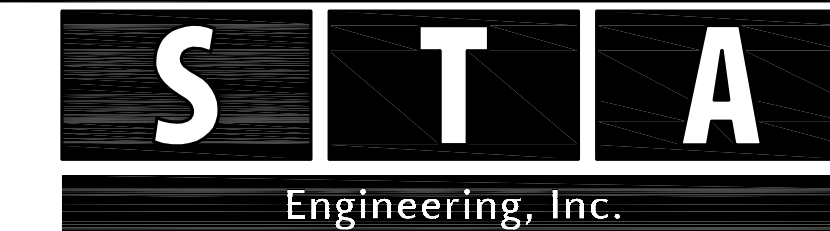
NOTES:
 SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.
 AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION, THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.
 UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.
 INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.
 BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATER SHALL BE REPLACED IMMEDIATELY.
 ANY ACCUMULATED SEDIMENT REMOVED FROM THE SEDIMENT BASIN DURING SOIL REMEDIATION PROCEDURES SHALL BE TESTED TO ENSURE THE SEDIMENT IS FREE OF POLLUTANTS. IF POLLUTANTS ARE FOUND, THE SEDIMENT SHALL BE TRANSPORTED OFF-SITE TO AN APPROVED FACILITY.
 ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSTEAD OF THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.

STANDARD CONSTRUCTION DETAIL #7-4

SEDIMENT BASIN EMBANKMENT AND SPILLWAY DETAILS - SKIMMER
NOT TO SCALE

No.	REVISIONS	DATE
M/P	PLAN ORIGINATOR DATE	JUNE 3, 2024


E&S DETAIL SHEET
 FOR
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 TRACT SITUATE IN
 LOWER SALFORD TOWNSHIP
 MONTGOMERY COUNTY, PENNSYLVANIA



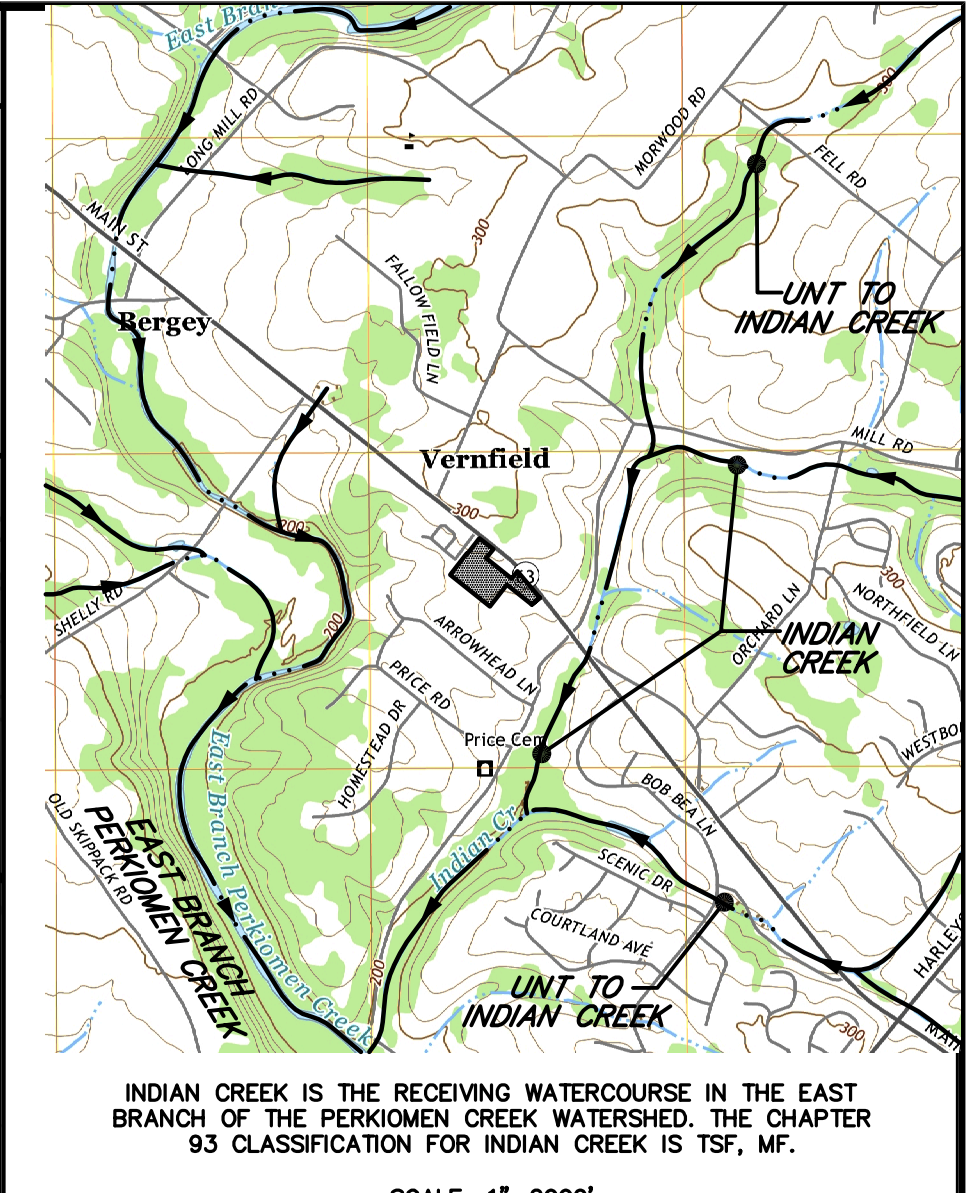
Civil Engineers • Land Surveyors
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	J.A.C.	S.A.R.	
N.T.S.	2550	2550ES2023	7 of 12

ACT 50 UTILITY NOTE



ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20241794328



SITE LOCATION MAP 1"=2000'
RECYCLING STATEMENT

IF NECESSARY, SEDIMENT SHOULD BE REMOVED WHEN THE BMP'S ARE THOROUGHLY DRY. TRASH AND DEBRIS REMOVED FROM THE SITE SHOULD BE DEPOSITED ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL WASTE REGULATIONS. IN THE CASE WHERE A BMP IS USED FOR SEDIMENT CONTROL, IT SHOULD BE GRADED AND RESEEDED IMMEDIATELY AFTER CONSTRUCTION HAS CONCLUDED.

CRITICAL STAGES OF BMP CONSTRUCTION

THE FOLLOWING STORMWATER MANAGEMENT BMP'S SHALL HAVE CONSTRUCTION OVERSIGHT:

- UNDERGROUND BASIN W/MRC BMP 001

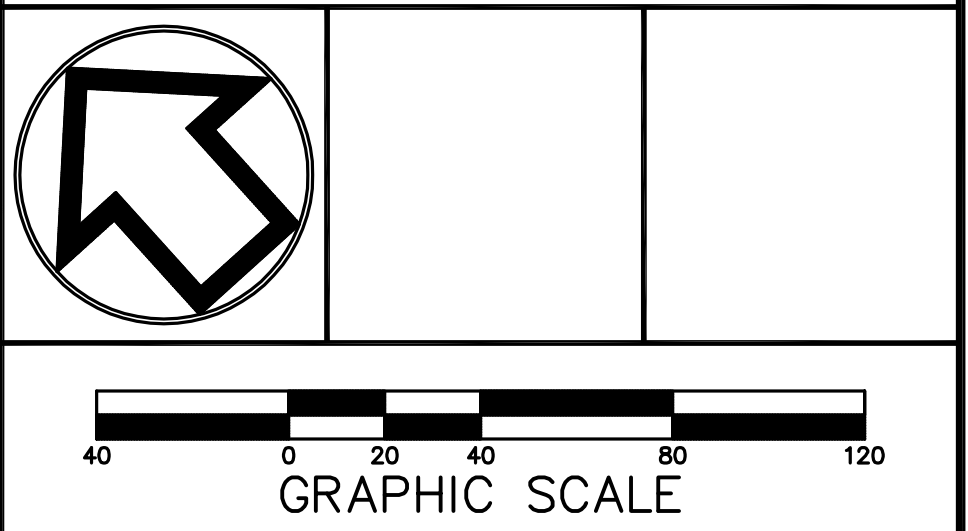
T.P. #4 INFILTRATION TEST PIT LOCATION

SOILS DATA

DATA OBTAINED FROM SOIL SURVEY OF MONTGOMERY COUNTY, PENNSYLVANIA, ISSUED APRIL 1967.

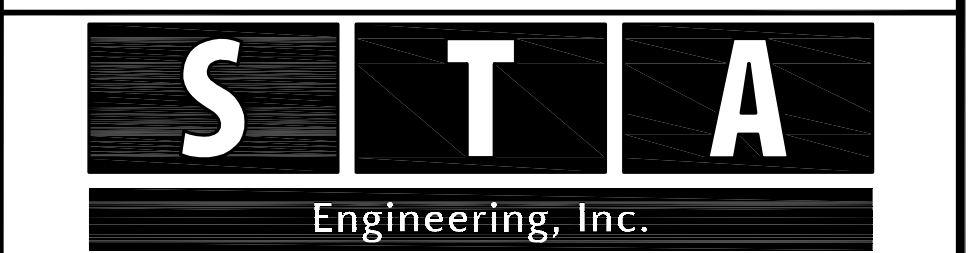
- PeB - PENN SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PeC - PENN SILT LOAM, 8 TO 15 PERCENT SLOPES.
- PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES.
- UrB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.

DISTURBED AREA = 3.86 Acres



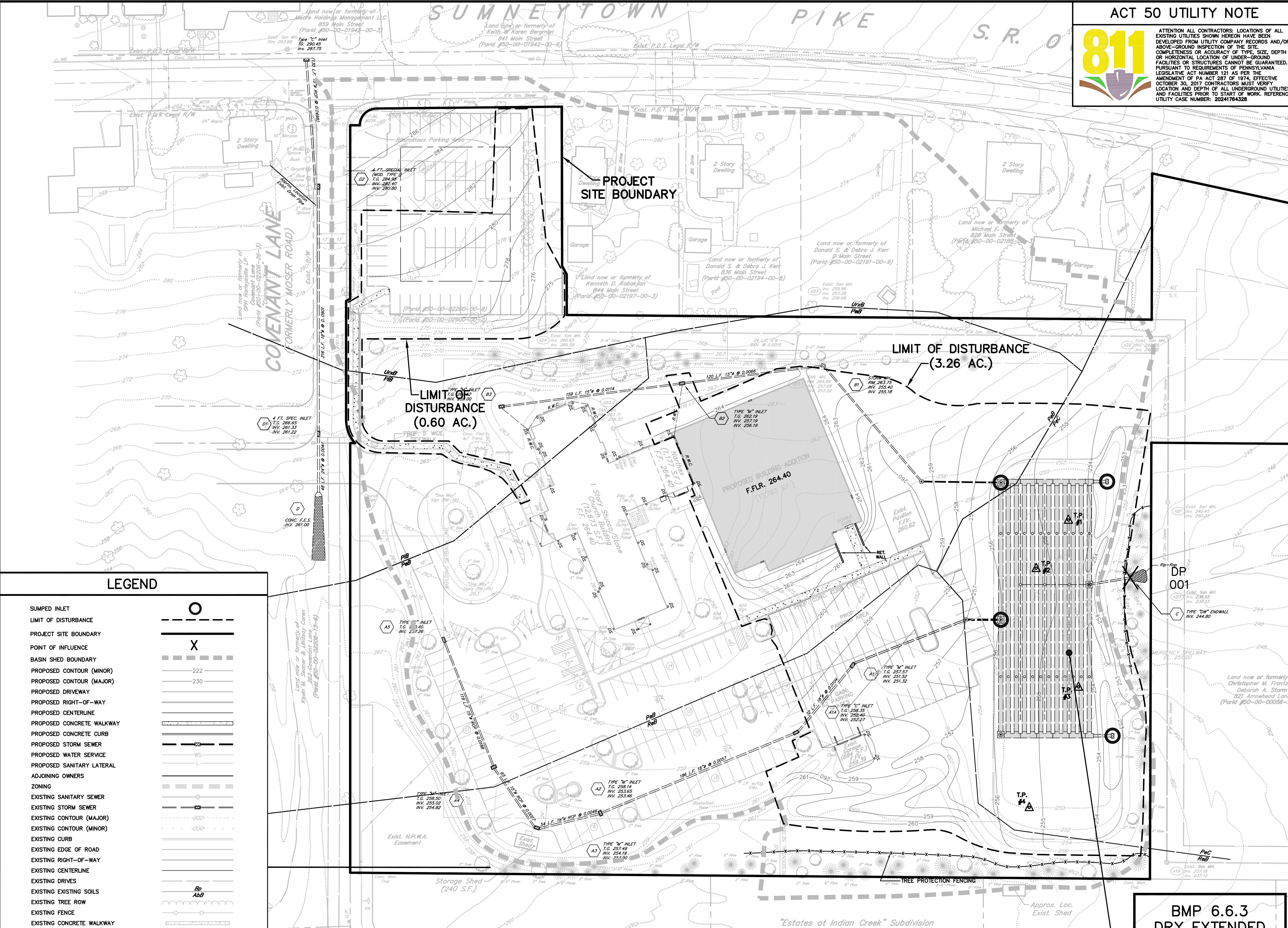
No.	REVISIONS	DATE
M/P	PLAN ORIGIN DATE	JUNE 3, 2024

PCSM PLAN
FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
TRACT SITUATE IN
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA



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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	M.J.P.	S.A.R.	
1"=40'	2550	2550PCSM2023	8 OF 12



LEGEND

- SUMPED INLET
- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- POINT OF INFLUENCE
- BASIN SHED BOUNDARY
- PROPOSED CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED DRIVEWAY
- PROPOSED RIGHT-OF-WAY
- PROPOSED CENTERLINE
- PROPOSED CONCRETE WALKWAY
- PROPOSED CONCRETE CURB
- PROPOSED STORM SEWER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL
- ADJOINING OWNERS
- ZONING
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING CURB
- EXISTING EDGE OF ROAD
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING DRIVES
- EXISTING EXISTING SOILS
- EXISTING TREE ROW
- EXISTING FENCE
- EXISTING CONCRETE WALKWAY
- EXISTING WATER MAIN
- EXISTING OVERHEAD WIRES
- AIR CONDITIONER UNIT
- UTILITY POLE
- EXISTING SIGN
- FIRE HYDRANT
- WATER METER
- IRON PIN FOUND

TEST PIT INFILTRATION DATA

TEST PIT NO.	EXISTING GRADE ELEV. (FT.)	LIMITING ZONE ELEV. (FT.) R=ROCK W=WATER	TEST PIT DEPTH ELEV. (FT.)	TEST ELEV. (FT.)	INFILTRATION RATE (in/hr)	LOCATION	BMP BOTTOM ELEV. (FT.)	BMP TYPE
1	247.5	243.5 (R)	243.5	246.5	0.00	IN EXISTING BASIN BOTTOM	247.00	MRC BMP 001
2	246.5	244.0 (R)	244.0	246.0	0.125	IN EXISTING BASIN BOTTOM	247.00	MRC BMP 001
3	247.0	245.8 (R)	245.8	246.5	0.00	IN EXISTING BASIN BOTTOM	247.00	MRC BMP 001
4	250.0	248.8 (R)	248.8	249.5	0.125	IN EXISTING BASIN BOTTOM	247.00	MRC BMP 001

**BMP 6.6.3
DRY EXTENDED
DETENTION BASIN
W/MRC BMP 001**

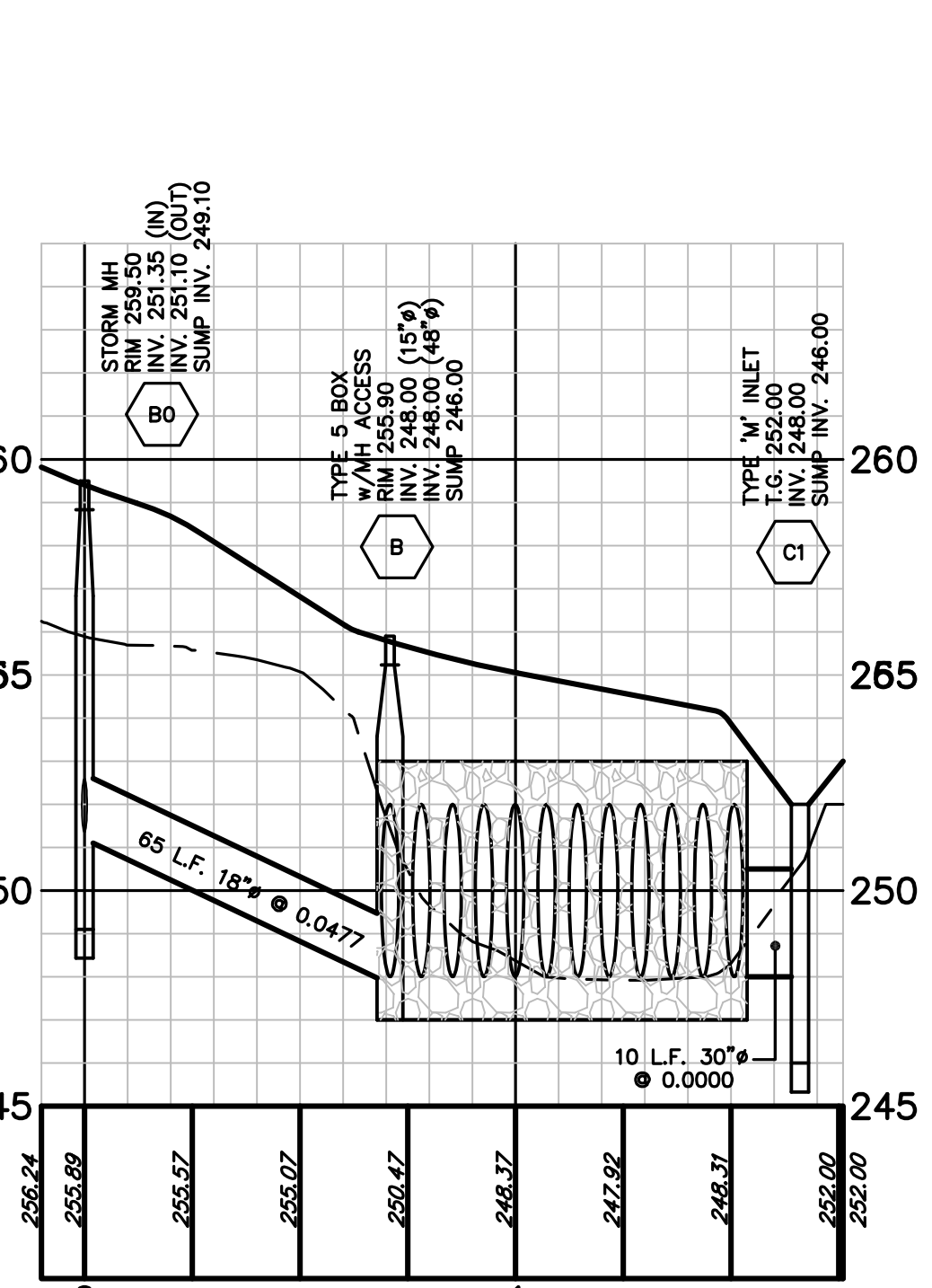
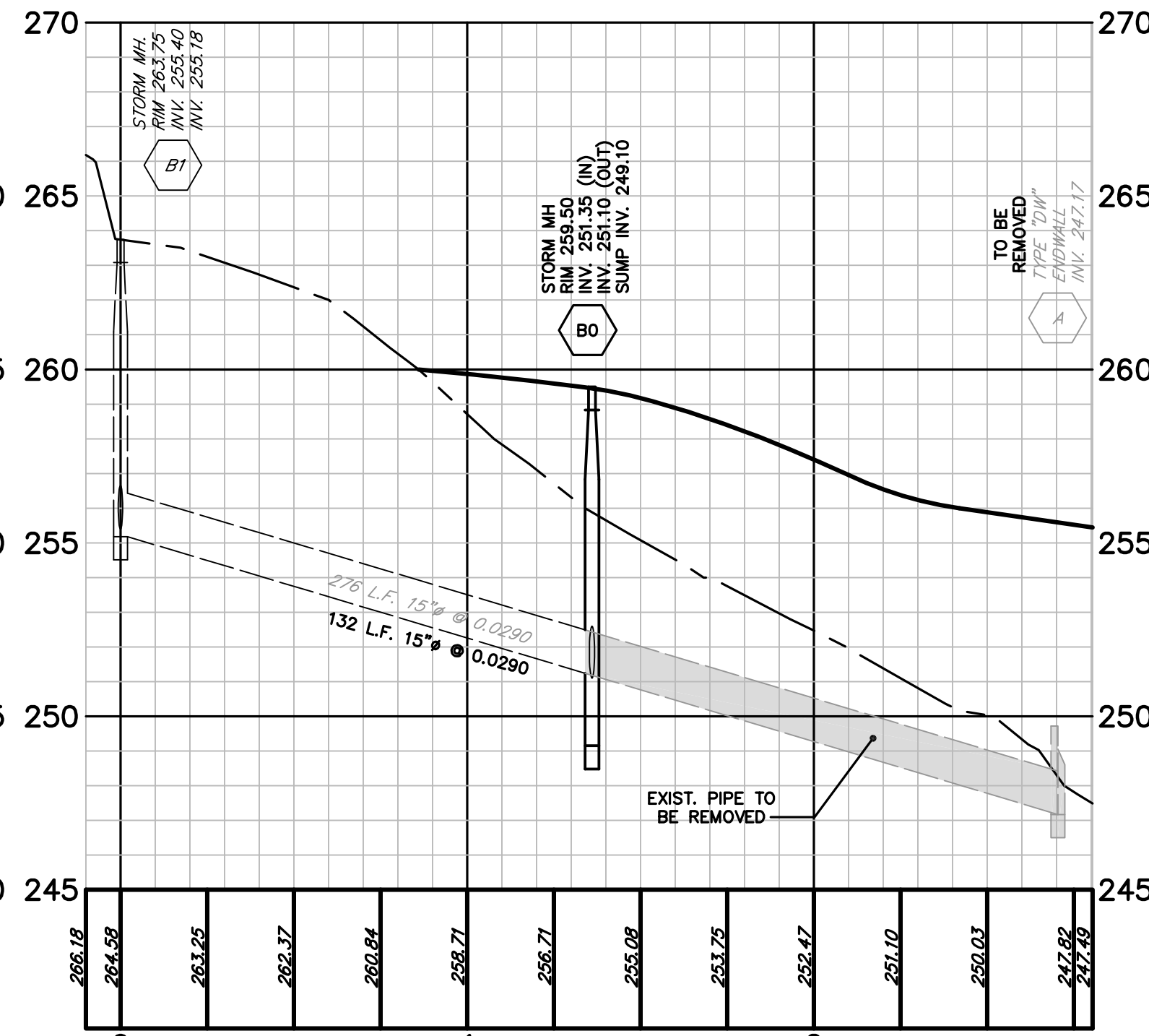
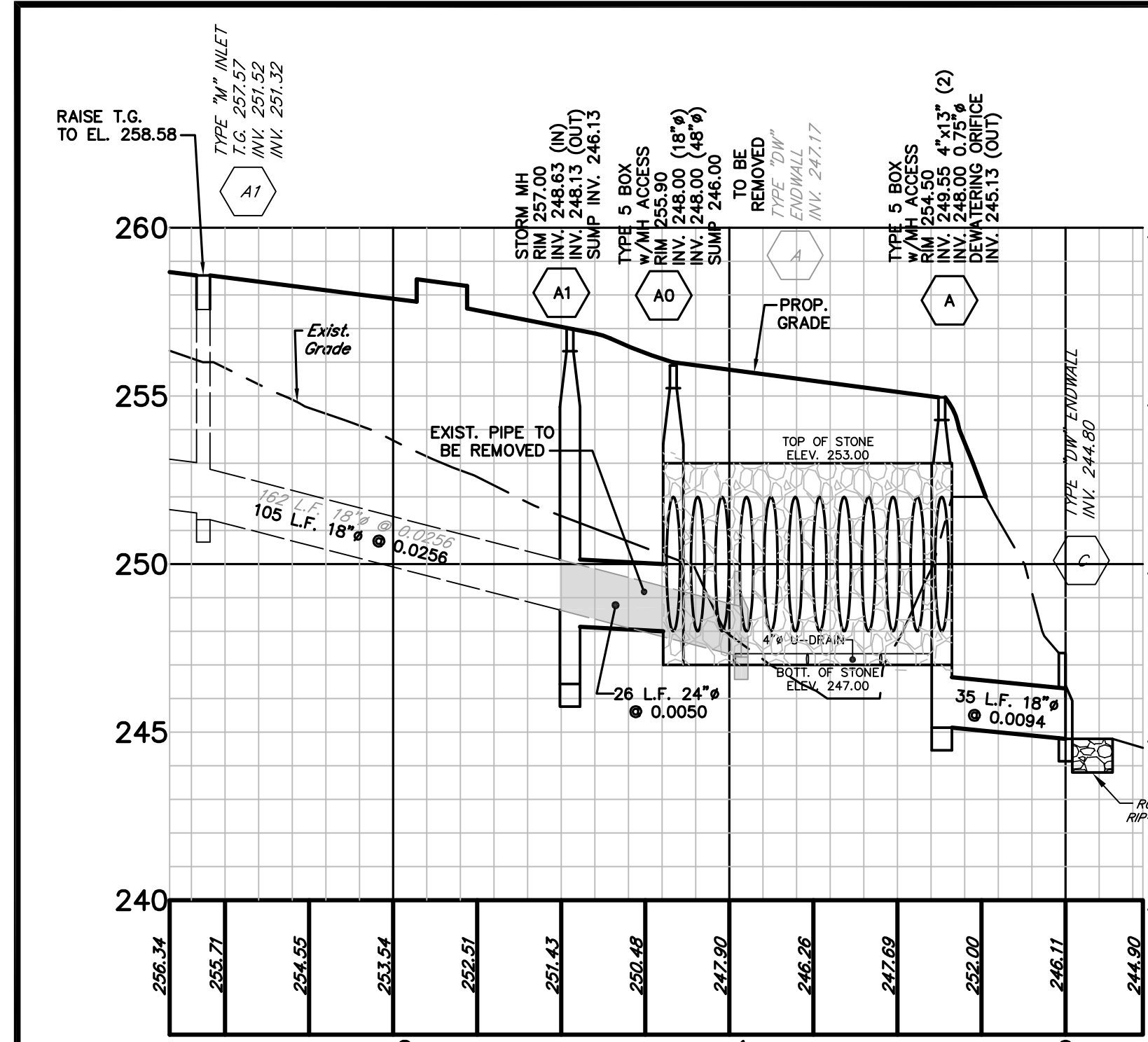


TABLE 11.4
Recommended Seed Mixtures

Mixture Number	Species	Seeding Rate - Pure Live Seed Most Sites	Seeding Rate - Pure Live Seed Adverse Sites
1 ¹	Spring oats (spring) or Annual ryegrass (spring or fall), or Winter wheat (fall), or Water oat (fall)	64	10
	Tall fescue, or Fine fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	80	10
	Perennial ryegrass, plus Rye/rye, or Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	30	10
2 ²	Tall fescue, plus Perennial ryegrass	25	30
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	15	20
3	Tall fescue, plus Perennial ryegrass	4	10
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	6	10
4	Reed canarygrass, or Perennial ryegrass	10	15
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
5 ³	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
6 ^{1,4}	Crownvetch, plus Annual ryegrass	10	15
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	6	10
7 ¹	Crownvetch, plus Annual ryegrass	10	15
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
8	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	20	25
9 ⁴	Smooth bromegrass, plus Tall fescue, plus Perennial ryegrass	10	10
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	10	10
10	Tall fescue, plus Fine fescue	40	60
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	15	20
11	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	15	20
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	15	20
12 ²	Switchgrass, or Big Bluestem, plus Perennial ryegrass, plus Tall fescue, plus Smooth bromegrass, plus Perennial ryegrass	6	10
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	25	30
13	Smooth bromegrass, plus Perennial ryegrass	25	30
	Perennial ryegrass, plus Tall fescue, or Kentucky bluegrass, plus Rye/rye, or Perennial ryegrass	25	30

SEEDING SPECIFICATIONS
TEMPORARY SEEDING (DURING CONSTRUCTION)

MIXTURE NUMBER	SPECIES	R BY WEIGHT	APPLICATION RATE	PURE LIVE SEED PER 1,000 S.F.
1 (OR APPROVED EQUIV.)	SPRING OATS (SPRING)	100%	4-5 LBS PER 1000 S.F.	64
	ANNUAL RYEGRASS (SPRING OR FALL)	100%	4-5 LBS PER 1000 S.F.	10
	WINTER WHEAT (FALL)	100%	4-5 LBS PER 1000 S.F.	10
2 (OR APPROVED EQUIV.)	TALL FESCUE	100%	4-5 LBS PER 1000 S.F.	80
	PERENNIAL RYEGRASS	100%	4-5 LBS PER 1000 S.F.	30
	PERENNIAL RYEGRASS	100%	2-3 LBS PER 1000 S.F.	15

PERMANENT SEEDING FOR LAWN AREAS OUTSIDE OF BMP AREAS

MIXTURE NUMBER	SPECIES	R BY WEIGHT	APPLICATION RATE	PURE LIVE SEED PER 1,000 S.F.
3	TALL FESCUE	100%	4-5 LBS PER 1000 S.F.	80
	PERENNIAL RYEGRASS	100%	4-5 LBS PER 1000 S.F.	30
	PERENNIAL RYEGRASS	100%	2-3 LBS PER 1000 S.F.	15

SUITABLE FOR FREQUENT MOWING
DO NOT CUT SHORTER THAN 4 INCHES.

APPLICATION DATES:
MARCH 15 - JUNE 15
AUGUST 1 - OCTOBER 15

NOTE: WHEN A DISTURBED AREA IS TO BE STABILIZED BY VEGETATION, NO MORE THAN 15,000 SQUARE FEET OF AREA SHOULD BE SEEDING AT ONE TIME. SEEDING SHOULD BE COMPLETED WITHIN 30 DAYS OF THE DATE OF DISTURBANCE. SOIL TESTING IS RECOMMENDED IN ORDER TO DETERMINE APPROPRIATE LIME AND FERTILIZATION RATES.

TABLE 11.2
Soil Amendment Application Rate Equivalent

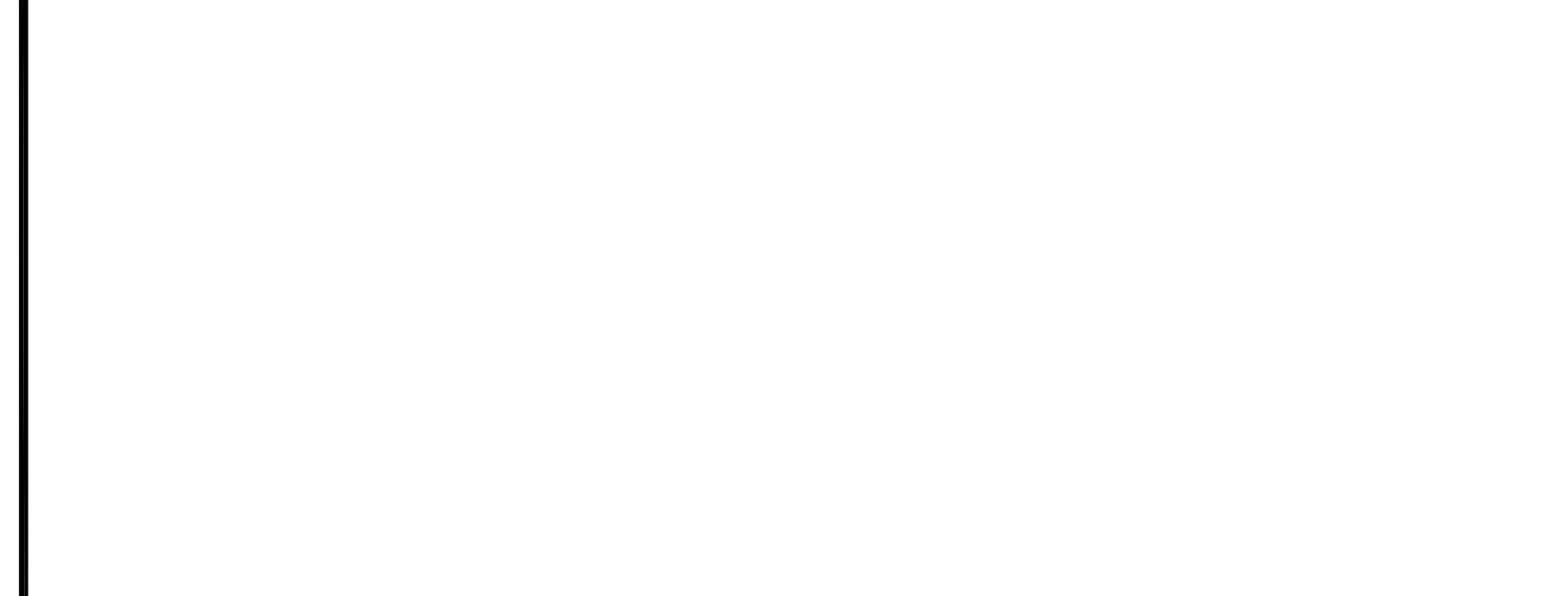
SOIL AMENDMENT	PER ACRE	PER 1,000 S.F.	PER 1,000 S.F.	NOTES
AGRICULTURAL LIME	6 TONS	240 B.	2,400 B.	OR AS PER SOIL TESTS. NOT REQUIRED FOR RESIDENTIAL AREAS.
10-20-20 FERTILIZER	1,000 B.	25 B.	210 B.	OR AS PER SOIL TESTS. NOT REQUIRED FOR RESIDENTIAL AREAS.
AGRICULTURAL LIME	1 TON	40 B.	410 B.	TYPICALLY NOT REQUIRED FOR TYPICAL STOODLES.
10-10-10 FERTILIZER	500 B.	12.5 B.	100 B.	TYPICALLY NOT REQUIRED FOR TYPICAL STOODLES.

TABLE 11.5
Recommended Seed Mixtures for Stabilizing Disturbed Areas

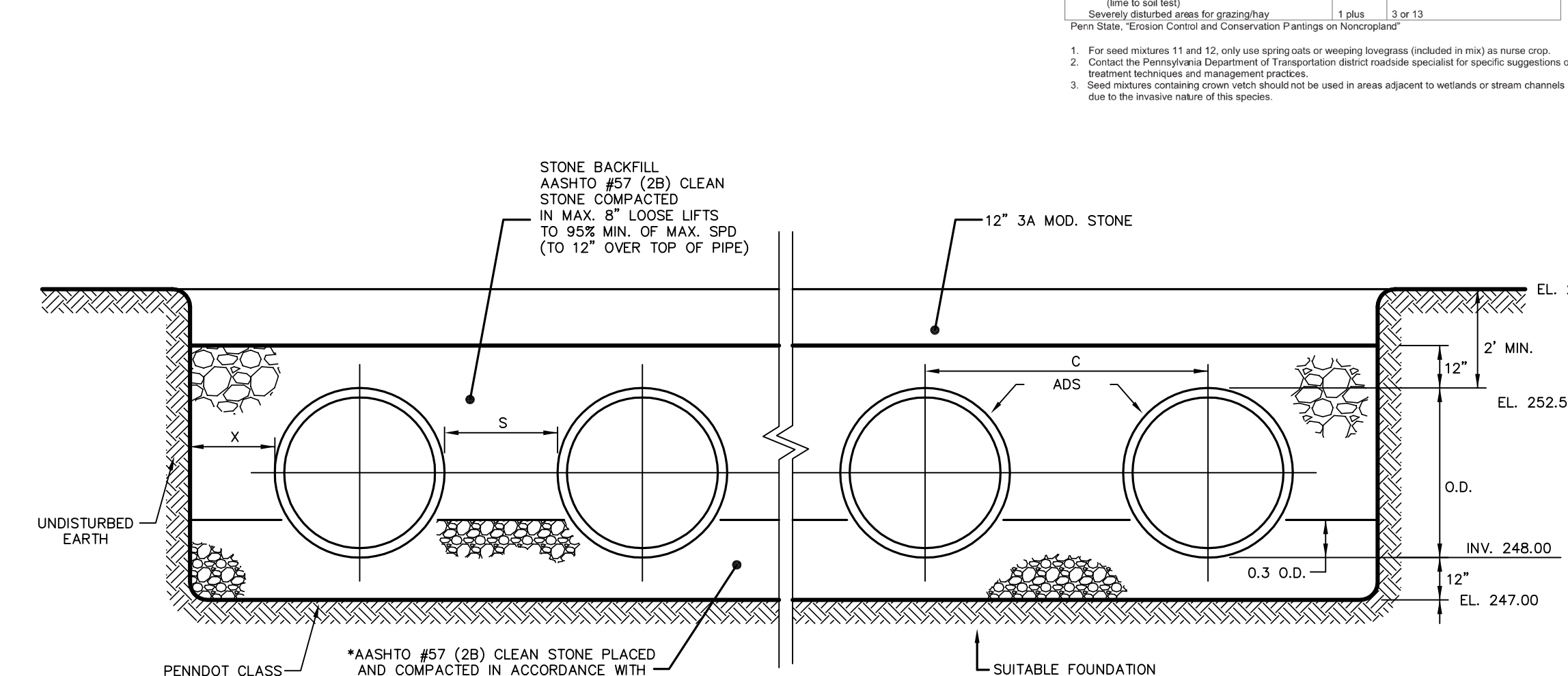
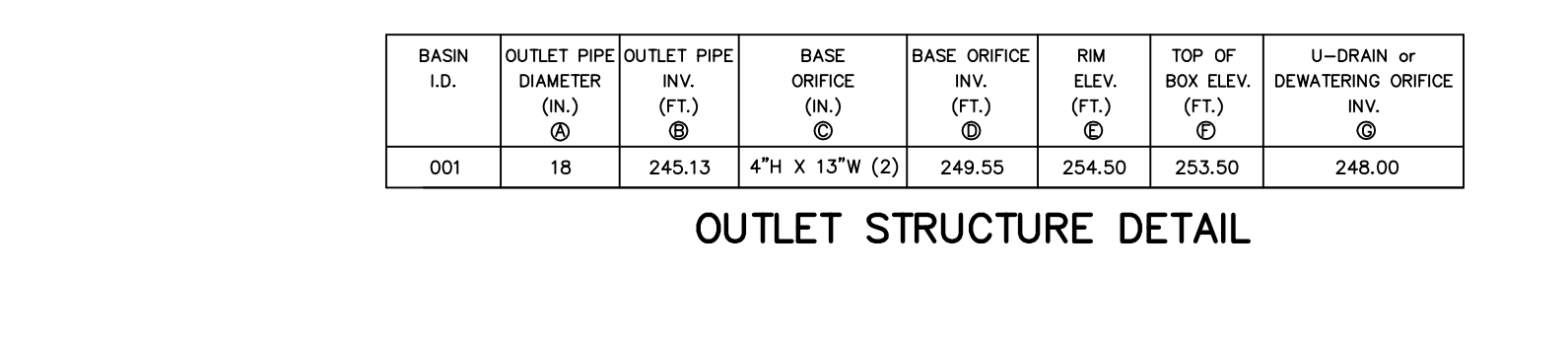
Site Condition	Name	Seed Mixture (Select one mixture)
Slopes and Banks (not mowed)	1 plus	3, 5, 8, or 12 ¹
Maintained	1 plus	3 or 7 ²
Slopes and Banks (mowed)	1 plus	2, 3, or 13
Wet Slopes	1 plus	2, 3, 7, or 12 ¹
Grasses and Eroded Areas	1 plus	2, 3, or 4
Eastern Coastal Facilities (BMP's)	1 plus	2, 3, or 4
Drainage	1 plus	2, 3, or 4
Channel, less than 3 feet deep	1 plus	2, 3, or 4
Creeks, not mowed	1 plus	2, 3, or 4
Point banks, dikes, levees, dams, diversion channels, and associated water flow areas	1 plus	2, 3, or 4
Mowed areas	1 plus	2 or 3
Non-mowed areas	1 plus	2, 3, or 13
For hay or silage in diversion channels and associated water flow areas	1 plus	3 or 13
Highways ³		
Non-mowed areas	1 plus	5 or 6
Maintained	1 plus	5, 7, 8, 9, or 10
Variable drainage	1 plus	3 or 7
Hooply drained	1 plus	3 or 4
Areas with several times per year	1 plus	2, 3, or 10
Utility Right-of-Way		
Variable drainage	1 plus	5, 8, or 12 ¹
Wet drained areas (grass/grazing)	1 plus	3 or 7
Effluent Disposal Areas	1 plus	2, 3, or 13
Banked Landfills	1 plus	3, 5, 7, 11, or 12 ¹
Surface mines	1 plus	3 or 13
Stock, mine wastes, fly ash, slag, settling basin (lime soil test)	1 plus	3, 4, 5, 7, 8, 9, 11, or 12 ¹
Severely disturbed areas for grazing/rye	1 plus	3 or 13

TABLE 11.6
MULCH APPLICATION RATES

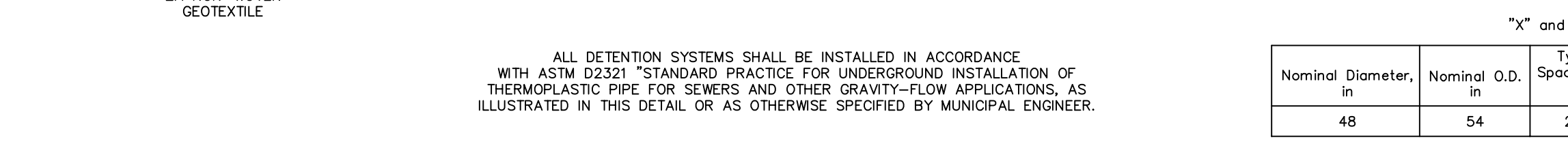
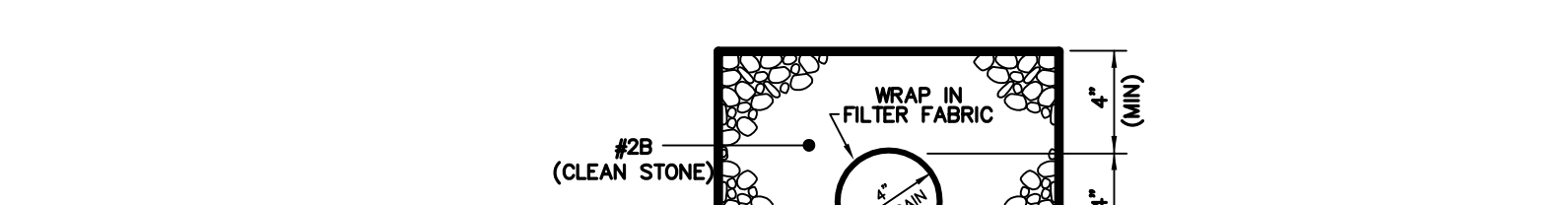
MULCH TYPE	PER ACRE	PER 1,000 S.F.	PER 1,000 S.F.	NOTES
STRAW	3 TONS	140 B.	1,240 B.	OR AS PER SOIL TESTS. NOT REQUIRED FOR RESIDENTIAL AREAS.
HAY	3 TONS	140 B.	1,240 B.	TWO-TWO MESH COVER AND REMOVAL OF OTHER NASTY FORAGE MATERIALS.
WOOD CHIPS	4-8 TONS	180-270 B.	1,600-2,000 B.	REQUIRE REMOVAL OF GRASSES AND LEGUMES.
HYDRONALCH	1 TON	47 B.	415 B.	SEE LIMITATIONS ABOVE.



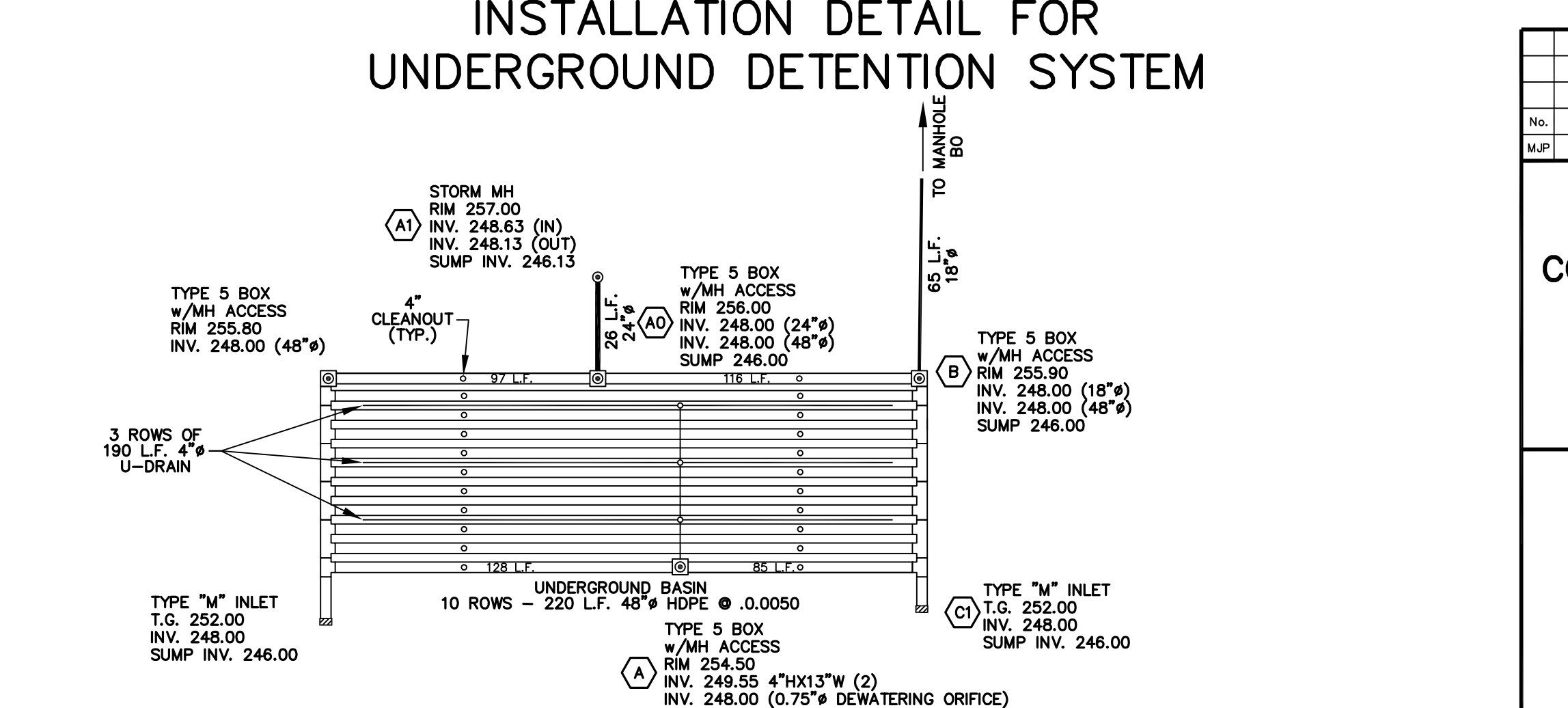
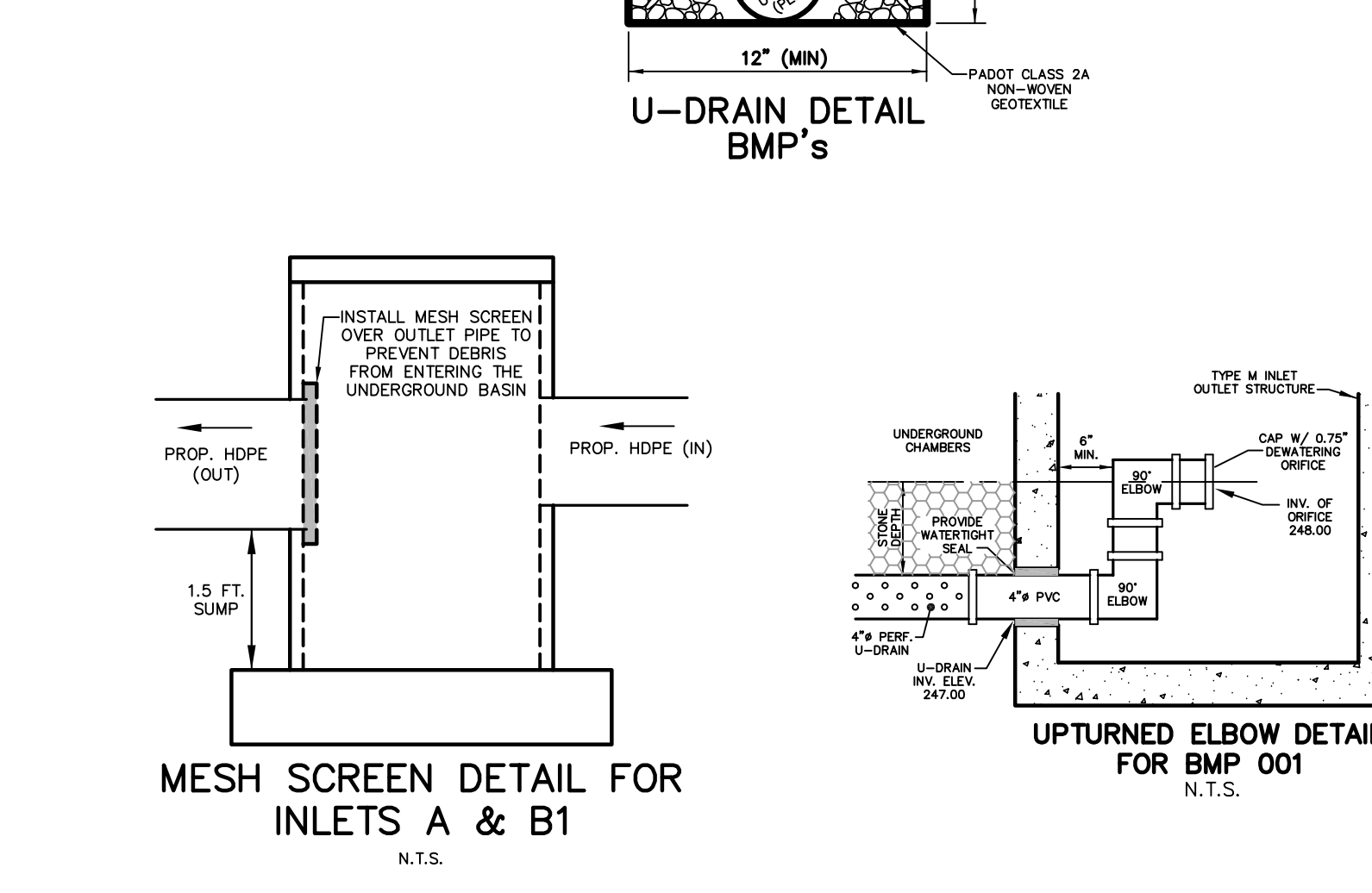
BASIN I.D.	OUTLET PIPE DIAMETER (IN.)	OUTLET PIPE INV. (FT.)	BASE ORIFICE (N.) (FT.)	BASE ORIFICE (F.T.) (FT.)	RIM ELEV. (FT.)	TOP OF BOX ELEV. (FT.)	U-DRAIN OR DEWATERING ORIFICE INV. (FT.)
001	18	245.13	4" X 13" W (2)	249.55	254.50	253.50	248.00



- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: AASHTO #57 (28) CLEAN STONE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 12\"/>
- INITIAL BACKFILL: AASHTO #57 (28) CLEAN STONE IN THE PIPE ZONE EXTENDING NOT LESS THAN 12\"/>
- MINIMUM COVER: MINIMUM COVER IS 24\"/>



\"/>



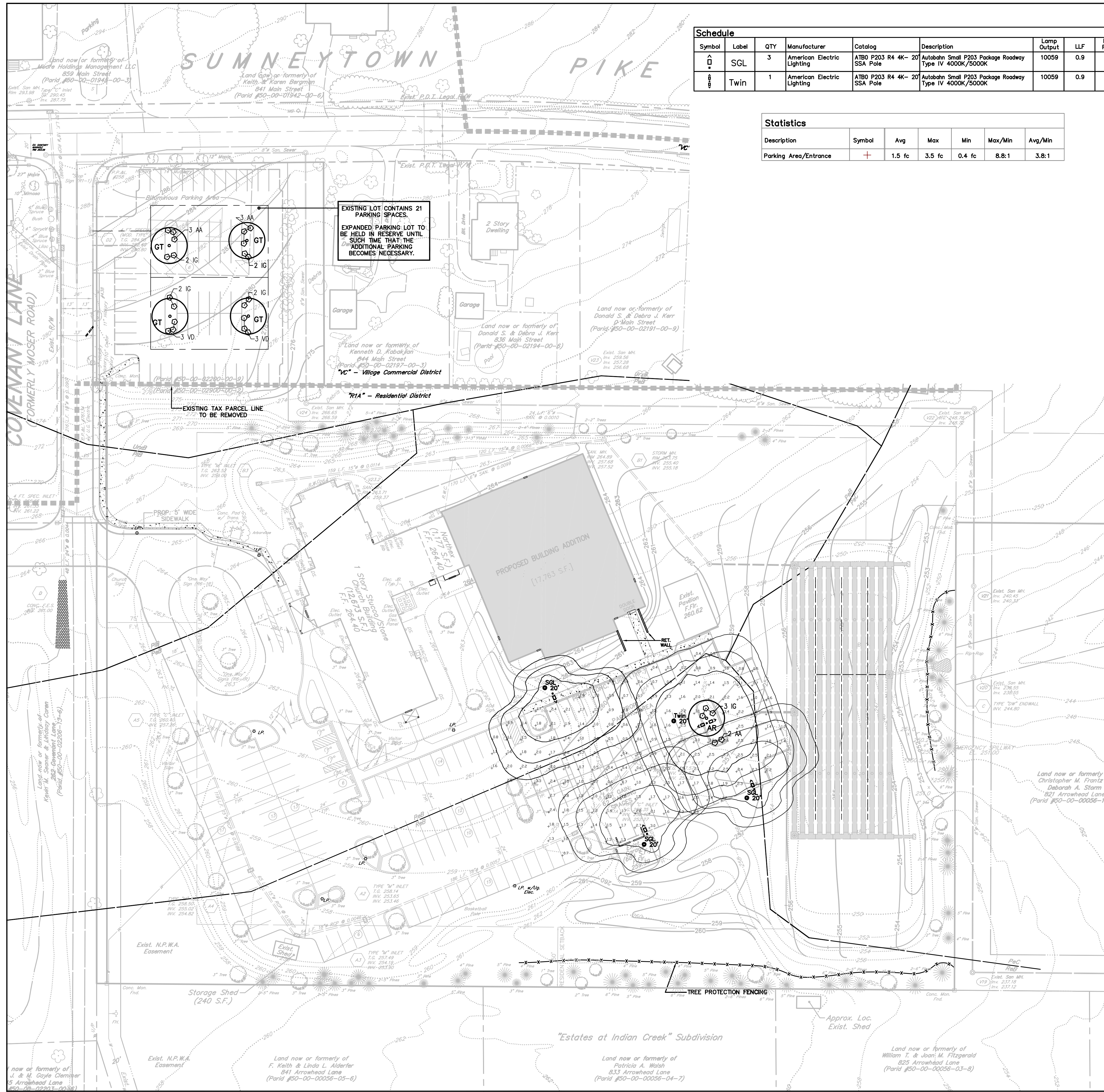
PCSM NOTES & DETAIL SHEET
FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
TRACT SITUATE IN
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

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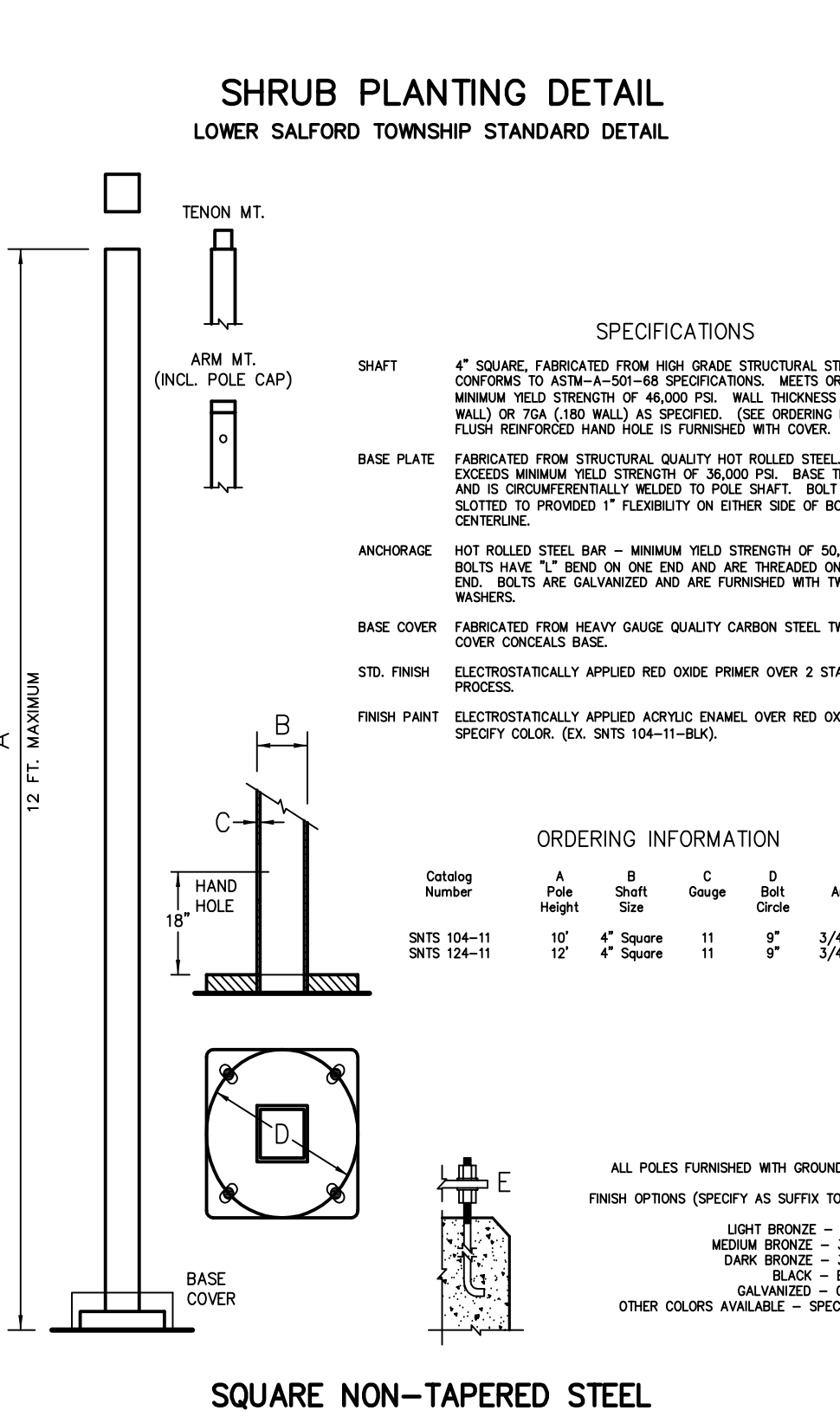
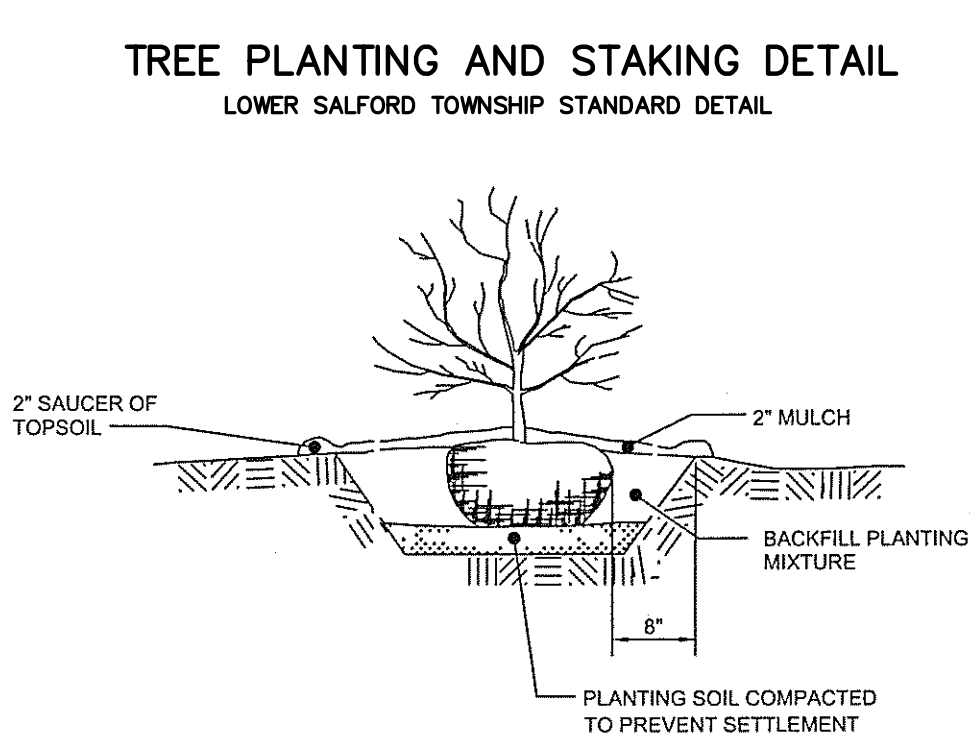
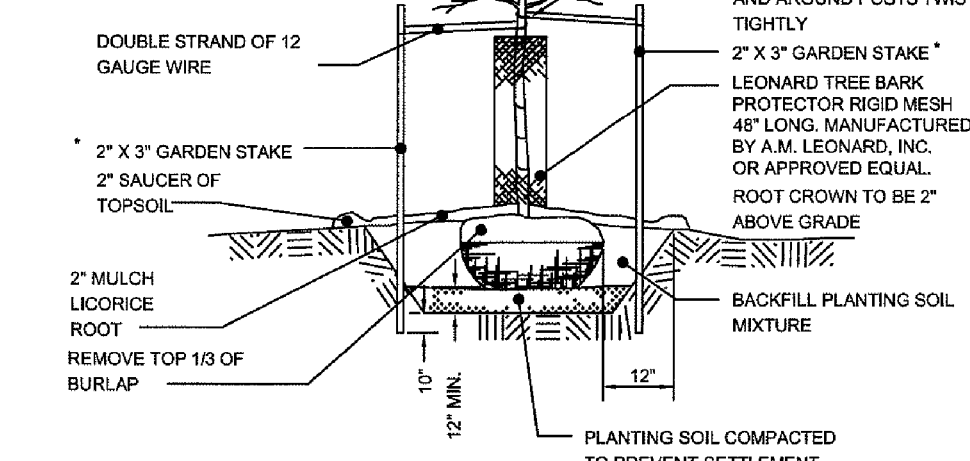
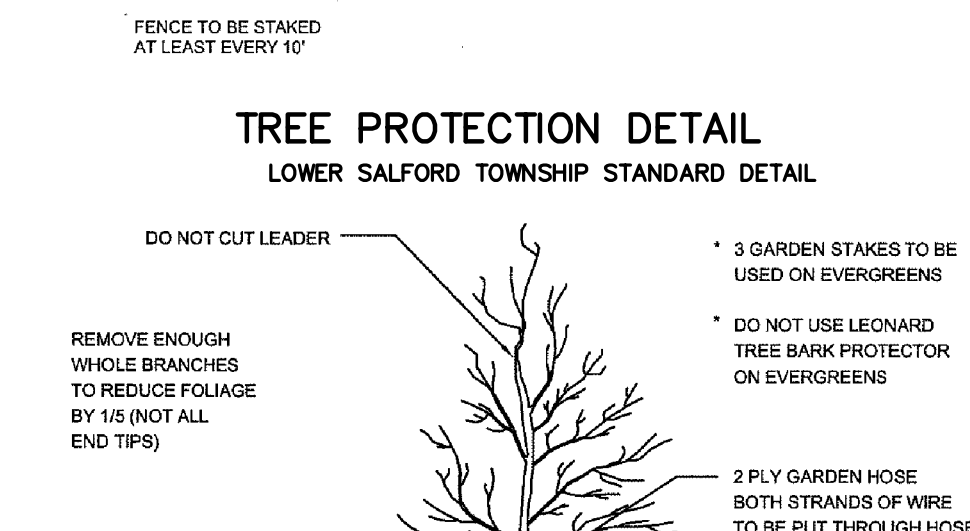
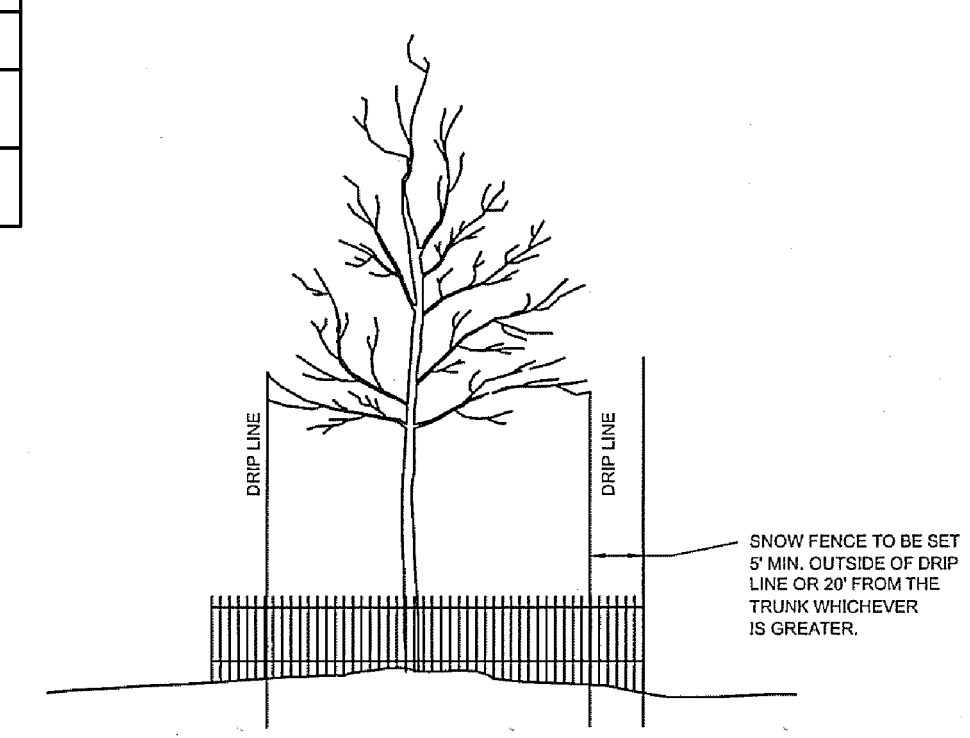
PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	M.J.P.	S.A.R.	
N.T.S.	PROJECT NUMBER	DRAWING FILE NUMBER	10 OF 12
	2550	2550PCSM2023	

COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE (STA #2550)



Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
⊕	SGL	3	American Electric Lighting	ATB0 P203 R4 4K-20 SSA Pole	Autobahn Small P203 Package Roadway Type IV 4000K/5000K	10059	0.9	70
⊕	Twin	1	American Electric Lighting	ATB0 P203 R4 4K-20 SSA Pole	Autobahn Small P203 Package Roadway Type IV 4000K/5000K	10059	0.9	140

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area/Entrance	+	1.5 fc	3.5 fc	0.4 fc	8.8:1	3.8:1



NOTES

- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE WELL DEVELOPED BRANCHES, AND MICROBIAL FIRMS ROOT SYSTEMS. THEY SHALL BE FREE FROM DISFIGURING KNOTS, SUN SCALES, INJURIES, ABRASIONS OF BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL COLLECTED MATERIAL SHALL BE CLEAN, SOUND STOCK, AND FREE FROM DECAYING STUMPS.
- SIZE AND GRADING STANDARDS SHALL CONFORM TO THE "U.S.A. STANDARD FOR NURSERY STOCK", LOOSE, BROKEN, OR MANUFACTURED BALLS WILL BE REJECTED.
- BALLED AND BURLAPED, AND BALLED AND PLATFORM PLANTS, SHALL HAVE SOLID BALL OF EARTH SECURELY HELD IN PLACE BY BURLAP AND STOUT ROPE. MINIMUM BALL SIZES SHALL BE SPECIFIED IN THE "U.S.A. STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PROVIDE CONTINUOUS DOUBLE-SHREDDED HARDWOOD BARK MULCH (3" THICK) AT THE BASE OF THE SPECIMEN TREES AND SHRUBS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHERE THE UNDERGROUND UTILITIES EXIST ON-SITE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING NEAR THESE UTILITIES.
- ALL DISTURBED PERVIOUS AREAS EXCEPT PLANTING BEDS SHALL BE SEEDED AND MULCHED.
- MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, FERTILIZING, SPRAYING, TIGHTENING, AND REPAIRING OF GUTS, REMOVAL AND REPLACEMENT OF DEAD MATERIAL, RESETTLING SETTLED PLANTS TO PROPER GRADES OR UPRIGHT POSITION, AND OTHER NECESSARY OPERATIONS AS MAY BE REQUIRED TO KEEP THE PLANTS IN A LIVE AND HEALTHY GROWING ENVIRONMENT.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO COMMENCING WORK TO REVIEW THE EXISTING CONDITIONS. NOTIFY THE LANDSCAPE DESIGNER AND THE TOWNSHIP ENGINEER OF ANY MAJOR DISCREPANCIES WHICH AFFECT THE WORK.
- BEFORE MIXING PLANTING MIXTURE, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONE, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- PLANTING MIXTURE SHALL CONTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES. DO NOT OBTAIN FROM BOGS OR MARSHES.
- STREET TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE PROPERTY HAS BEEN COMPLETED.
- NO GRADING IS TO OCCUR WITHIN 5 FEET OF ANY TRACT BOUNDARY LINE.
- UNDERBRUSH CLEARING TO BE ALLOWED TO FACILITATE POTENTIAL ADDITIONAL PLANTINGS. NO TREES ARE TO BE REMOVED AS PART OF UNDERBRUSH CLEARING WITHIN 5 FEET OF OVERALL BOUNDARY LINE.
- IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE, 2009, SECTION 503.2.1, STREET TREES SHALL BE MAINTAINED IN A MANNER THAT PROVIDES A VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.
- REQUIRED PLANT MATERIAL SHALL BE MAINTAINED FOR THE LIFE OF THE PROJECT TO ACHIEVE THE REQUIRED VISUAL EFFECT OF THE BUFFER OR SCREEN. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF SUCCESSIVE PROPERTY OWNERS TO ENSURE THAT THE REQUIRED PLANTINGS ARE PROPERLY MAINTAINED. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED OR TREATED PROMPTLY BY THE PROPERTY OWNER AND REPLACED AT THE NEXT GROWING SEASON.

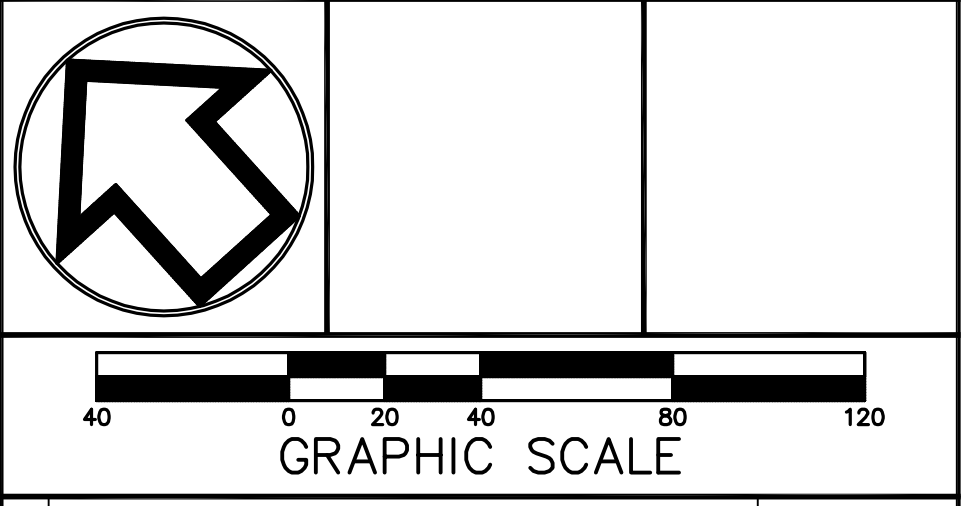
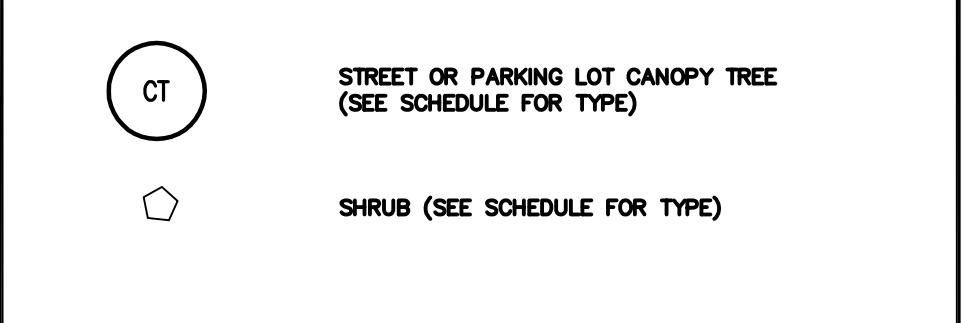
PLANT SCHEDULES/CALCS.

PARKING ISLAND: 1 SHADE TREE PLUS ISLAND COVERAGE WITH SHRUBS
FOR 5 ISLANDS: 5 SHADE TREES AND 25 SHRUBS

TREE SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QUANTITY
AR	ACER RUBRUM	RED MAPLE	2" CAL.	B&B	1
GT1	GLEDITSIA TRIACANTHOS F. INERMIS	THORNLESS HONEYLOCUST	2" CAL.	B&B	4
					TOTAL: 5

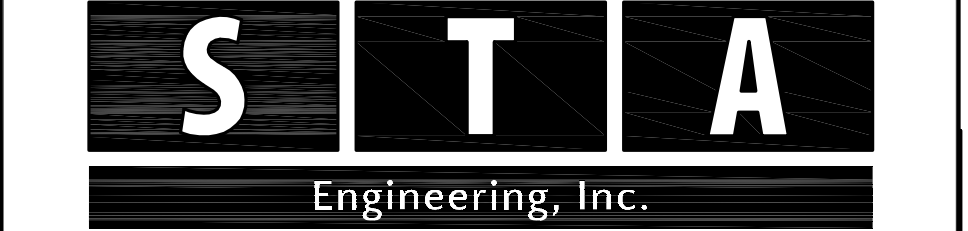
SHRUB SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QUANTITY
AA	ARONIA ARBUSTIFOLIA	RED CHOKEBERRY	18" HT.	CONT.	8
IG	ILEX GLABRA	INKBERRY	18" HT.	CONT.	11
VO	VBURNUM DENTATUM	ARROWWOOD VIBURNUM	18" HT.	CONT.	6
					TOTAL: 25

PARKING LOT PLANTINGS



REVISIONS	DATE
1 PLAN ORIGINATOR DATE	JUNE 3, 2024

LANDSCAPE AND LIGHTING PLAN
FOR
COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE
TRACT SITUATE IN
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA



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PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=40'	J.A.C.	S.A.R.	11 OF 12

JOINT WIDTHS FOR KEYS

MANHOLE TYPE	KEY 1 (IN.)	KEY 2 (IN.)	KEY 3 (IN.)
TYPE 4	1 1/2	1 1/2	1
TYPE 5	2	1 1/2	1 1/2
TYPE 6	2	1 1/2	1 1/2
TYPE 7	2	1 1/2	1 1/2
TYPE 8	2	1 1/2	1 1/2
TYPE 9	2	1 1/2	1 1/2
TYPE 10	2	1 1/2	1 1/2
TYPE 11	2	1 1/2	1 1/2
TYPE 12	2	1 1/2	1 1/2

JOINT DETAILS (PRECAST)

OPTION 1 (SHOULDER JOINT)

OPTION 2 (KEY JOINT)

CAST IRON MANHOLE COVER (PLATE COVER)

CAST IRON MANHOLE COVER (RIBBED COVER)

MANHOLE COVER AND FRAME NOTES:

- PROVIDE MANHOLE COVERS AND FRAMES AS SPECIFIED ON PUBLICATION 081, SECTION 05-10.1.
- SECTION MANHOLE COVERS AND FRAMES FOR 48" OR 60" DIAMETERS, IF MANHOLES ARE NOT IN AN ALLEYSIDE TO ROADWAY, DESIGN FOR ALL POSSIBLE LIVE LOADS AS APPROVED BY THE ENGINEER.
- PROVIDE GRAY CAST IRON CONFORMING TO ASTM A153, OR 40-10-03, AND ASHTRAY WOOD SHALL BE 1/2" THICK. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.
- PROVIDE A GASKET SEAL THE CENTER, OUTER, AND CONTIGUOUS GASKETS, AS SPECIFIED ON PUBLICATION 081, SECTION 05-10.1. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.
- PROVIDE TWO 1/2" DIA. LIFT HOLES AT 180 DEGREES TO FACILITATE COVER REMOVAL FOR NON-SEALING MANHOLE COVERS.
- FRAME TO HAVE A MINIMUM BEARING SEAT OF 1" FOR MANHOLE COVER.
- LOCATE TOP OF FRAME 1/4" BELOW THE TOP OF THE ROADWAY SURFACE.
- STAIN FRAME AND COVER PRECAST CONCRETE GRADE AS SHOWN WITH HOLES TO THE TOP OF THE MANHOLE. USE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.
- PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.
- SET THE BACK OF THE FRAME ON A NON-SHARP POINT TO PROVIDE FULL BEARING AND LIFTING. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.
- PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 48" DIAMETER MANHOLE COVERS. PROVIDE 1/2" THICKNESS 2x4x8 INCHES FOR THE 60" DIAMETER MANHOLE COVERS.

TYPICAL TRENCH DETAIL

LOWER Salford TOWNSHIP STANDARD DETAIL

PROPOSED SIDEWALK

LOWER Salford TOWNSHIP STANDARD DETAIL

RETAINING WALL DETAIL

LOWER Salford TOWNSHIP STANDARD DETAIL

TROUT LOGO PLATE (FOR TYPE "M" INLETS)

LOWER Salford TOWNSHIP STANDARD DETAIL

TYPE "M" INLET

LOWER Salford TOWNSHIP STANDARD DETAIL

CONSTRUCTION DETAIL SHEET

FOR

COVENANT PRESBYTERIAN CHURCH OF HARLEYSVILLE

TRACT SITUATE IN

LOWER Salford TOWNSHIP

MONTGOMERY COUNTY, PENNSYLVANIA

STATA

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PLAN SCALE: HORIZONTAL: 1"=40'

PROJECT NUMBER: 2550

DRAWING FILE NUMBER: 2550DET2023

PLAN SHEET NUMBER: 12 OF 12